

JENNIFER B. ALEWINE
404.885.3061 telephone
404.962.6574 facsimile
jennifer.alewine@troutmansanders.com

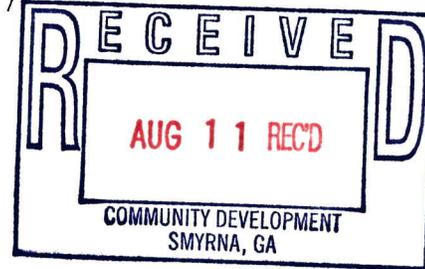
TROUTMAN SANDERS

TROUTMAN SANDERS LLP
Attorneys at Law
Bank of America Plaza
600 Peachtree Street NE, Suite 5200
Atlanta, Georgia 30308-2216
404.885.3000 telephone
troutmansanders.com

August 11, 2017

VIA HAND DELIVERY

Mr. Ken Sudderth
Community Development Director
City of Smyrna
3180 Atlanta Road SE
Smyrna, GA 30080



Re: Application for a Special Land Use Permit for a 140-foot Wireless Telecommunications Facility to be Located at 1700 Roswell Street, Smyrna, Georgia

Dear Mr. Sudderth:

I am pleased to submit on behalf of Verizon Wireless (VAW), LLC, d/b/a Verizon Wireless, (“Verizon Wireless”), the following Special Land Use Permit application to allow for the construction and operation of a 140-foot telecommunications facility on property owned by Public Storage and located at 1700 Roswell Street, Smyrna, Georgia. Pursuant to the requirements of the applicable sections of the City of Smyrna Code of Ordinances (the “Ordinance”), Section 501.16, “Special land use permit for television, land mobile, communication, microwave, and radio transmission antennae and towers,” this letter of intent and the attached exhibits provide all basic and supplementary information required by the City for consideration of this request. Included among these exhibits are the following:

- Fully executed Special Land Use Permit Application (Exhibit “A”);
- Special Warranty Deed and plat for the subject property (Exhibit “B”);
- Construction Design package that includes a Survey, Aerial Site Plan, Overall Site Plan, Detailed Site Plan, Tower Elevation and Antenna Mount Details, Grading and Erosion Control Plan, Fence Details, Electrical Plan, and Grounding Site Plan (Exhibit “C”);
- Legal descriptions for the two lease areas, ingress-egress easement and utility/temporary construction easement (Exhibit “D”);
- Structural Analysis prepared by Sabre Industries Tower and Poles documenting tower height and design, total anticipated capacity, evidence of structural integrity, and structural failure characteristics of the facility (Exhibit “E”);

Mr. Ken Suddreth
August 11, 2017
Page 2

- A letter prepared by Verizon Wireless' Radio Frequency Engineer demonstrating how the site will fit into Verizon Wireless' existing network; providing the proposed height is the minimum height needed to allow necessary capacity and coverage improvements; and determining there are no existing towers or structures within the search area suitable for collocation (Exhibit "F");
- Propagation Maps prepared by Verizon Wireless' Radio Frequency Engineer showing the overall search area and coverage area, how the site fits into Verizon Wireless' existing network, and the significantly improved capacity and enhanced coverage provided by the proposed facility (Exhibit "G");
- A "Determination of No Hazard to Air Navigation" letter from the Federal Aviation Administration ("FAA") concluding the proposed facility would not be a hazard to air navigation (Exhibit "H");
- Documentation from the Cobb County Tax Commissioner stating all taxes due on the subject property have been paid (Exhibit "I");
- A copy of Verizon Wireless' Federal Communication Commission ("FCC") license for the site (Exhibit "J");
- Photo Simulations of the proposed site from five surrounding vantage points surrounding (Exhibit "K"); and
- A check in the amount of \$250 for the Special Land Use Permit application fee.

For this proposed facility, Verizon Wireless intends to lease an 18' x 10' 6" area from Public Storage on which to locate the proposed 140-foot telecommunications facility (130-foot monopole with a 10-foot lightning rod) and related ground equipment. The ground equipment will be located inside the storage unit immediately adjacent to the proposed tower location and thereby completely hidden from public view. Moreover, the tower will be surrounded by a 6-foot wooden fence that will screen the base of the tower from view from Hawthorne Avenue and surrounding properties. Access to the leased premises will be provided via an access and utility easement running through the parking lot of the storage facility to Roswell Street. Section 501.16(2) of the Ordinance allows for new telecommunications facilities upon approval of a Special Land Use Permit.

As provided in the Radio Frequency letter attached hereto as Exhibit "F," the primary need for the proposed telecommunications facility site is to improve 4G coverage and data throughput for Verizon customers along Hawthorn Avenue, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road. The proposed site is also needed to provide additional system capacity to relieve existing Verizon sites, particularly the Promenade site located at 2400 Cobb Parkway. Currently, users of the existing Promenade site demand more capacity than the site is capable of delivering, resulting in system capacity constraints.

Mr. Ken Suddreth
August 11, 2017
Page 3

The Propagation Maps attached hereto as Exhibit "G" demonstrate the capacity relief the proposed site will provide to the Promenade site. The proposed location of the new site is critical to the effectiveness of the capacity offload. As shown on the Propagation Maps, the high traffic areas of Hawthorne Avenue, Roswell Street and Matthews Street are positively impacted by the proposed site.

The search area for this project is centered near Roswell Street and Hawthorne Avenue with an approximate radius of .5 miles. Verizon Wireless has made every reasonable attempt to utilize existing structures to meet the network design goals. Upon thorough examination of the service area, Verizon Wireless did not identify any existing towers located within the search area suitable for collocation. The closest existing tower is located just outside the radius of the search area and is owned by American Tower Corporation ("ATC"). The ATC tower is too close to Verizon's existing Hickory Hill site and would simply overlap coverage already provided by that site. Furthermore, collocation on the ATC tower would not provide optimal coverage along the residential areas between Windy Hill Road and Spring Road.

The proposed tower height of 140 feet with an antenna centerline of 130 feet is the minimum height required to provide the necessary capacity and coverage improvements set forth above. In addition, the proposed tower height will enhance customer experience near the Promenade site by providing improved coverage and data speeds for customers in the surrounding area. The tower height as proposed is imperative to allow adequate contiguous in-car and in-building coverage for residents, businesses, and commuters along Hawthorn Avenue, Roswell Street, Matthews Street, and all the residential areas between Windy Hill Road and Spring Road. Telecommunications coverage is increasingly important for everyday communications as well as in the event of an emergency or severe weather.

Based on the proposed height of the tower a 30-foot setback to Hawthorne Avenue is required. The proposed tower is located 29.5 feet from Hawthorne Avenue and thus a small variance of .5 feet is requested. The existing site is the only location on the property that allows enough room for the tower installation and still provides access for emergency vehicles to move around the compound. The Structural Analysis attached as Exhibit "E" provides for a fall zone radius of 29.5 feet, meaning that in the very rare event of tower failure the tower would be contained within the boundaries of the subject property.

The facility will be designed to accommodate up to three (3) carriers in addition to Verizon Wireless. Verizon Wireless and other carriers collocating on this tower will be able to provide significant service improvements to this portion of the City of Smyrna.

Verizon Wireless telecommunications facilities are entirely automated. Technicians typically perform maintenance once a month on each facility. This monthly maintenance does not significantly impact local traffic in the area. The proposed site will have no significant impact on water or sewage systems. Verizon Wireless asserts the proposed tower will be

TROUTMAN
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Mr. Ken Suddreth
August 11, 2017
Page 4

maintained in compliance with the standards contained in applicable local building codes and the Electronic Industries Association. As stated in the FAA Determination of No Hazard letter (Exhibit "H") the facility "does not exceed obstruction standards and would not be a hazard to air navigation." Accordingly, the letter states, "marking and lighting are not necessary for aviation safety." As with all its facilities, Verizon Wireless will construct and operate this facility in accordance with all applicable FCC and FAA regulations.

I appreciate your thoughtful consideration of this request, I encourage you to contact me should you have any questions or require any additional information, and I look forward to working with you on this important matter.

Sincerely,



Jennifer B. Alewine

By David C. Kirk
w/ express permission

/jab
Enclosures

Exhibit A

**APPLICATION FOR SPECIAL LAND USE PERMIT
TO THE CITY OF SMYRNA**

Please Type or Print Clearly

(To be completed by City)

Ward: _____

Application No: _____

Hearing Date: _____

APPLICANT: Verizon Wireless

Name: David C. Kirk and Jennifer B. Alewine, as attorneys for Verizon Wireless
(Representative's name, printed)

Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 30308

Business Phone: 404-885-3061 Cell Phone: 404-285-2211 Fax Number: 404-962-6574

E-Mail Address: jennifer.alewine@troutmansanders.com

Signature of Representative: 

TITLEHOLDER:

Name: Storage Equities, Inc. a California corporation DBA Public Storage
(Titleholder's name, printed)

Address: Public Storage, 701 Western Avenue, Glendale, CA 91201

Business Phone: 818-244-8080 Cell Phone: _____ Home Phone: _____

E-mail Address: lkind@publicstorage.com

Signature of Titleholder: 
(Attach additional signatures, if needed)

(To be completed by City)

Received: _____

Heard by P&Z Board: _____

P&Z Recommendation: _____

Advertised: _____

Posted: _____

Approved/Denied: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

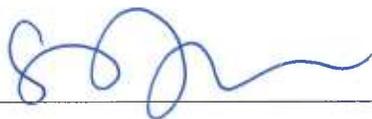
STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } S.S.

On July 11, 2017 before me, Sarah You, a Notary Public in and for said County and State, personally appeared, Lori Kind, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____



(Notary Seal)

ACKNOWLEDGMENT OF SIGNATURE AUTHORIZATION

This will confirm that as Wireless Leasing Manager for Public Storage, Lori Kind is authorized to execute and take any necessary action on behalf of Public Storage and its related entities in connection with planning, zoning and development of wireless lease agreements. Specifically, Letters of Authorization (LOA's), Owners Authorization agreements, Access agreements, standard site walk and testing permissions, various city permits for wireless use such as CUP's, modifications to wireless sites, building permits, design review and wireless / telecom applications and applications for development reviews process.

Acknowledged this 30th day of January, 2015

Public Storage



By: David F. Doll
Senior Vice President and
President, Real Estate Group
Public Storage

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

On JANUARY 30, 2015 before me, Meredith A. Allen, Notary Public, personally appeared David F. Doll who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature of Notary Public



Seal

My Commission Expires: April 18, 2018

ZONING:

OD _____
Present Zoning

LAND USE:

Self-storage facility _____
Present Land Use

For the Purpose of 140-foot telecommunications facility and related ground equipment

Size of Tract 2.8 acres

Location 1700 Roswell Street, Smyrna, GA 30080
(Street address is required. If not applicable, please provide nearest intersection, etc.)

Land Lot (s) 17 District 63

DESCRIPTION OF PROPOSED SPECIAL LAND USE:

To allow for the location and operation of a 140-foot telecommunications facility (130-foot monopole with a 10-foot lightning rod) and related ground equipment.

(To be completed by City)

Recommendation of Planning Commission:

Council's Decision:

CONTIGUOUS ZONING

North: Roswell Street and RM 12 _____

East: RM 12 and R 15 _____

South: Hawthorne Avenue _____

West: NS _____

CONTIGUOUS LAND USE

North: Roswell Street and residential _____

East: Commercial and residential _____

South: Hawthorne Avenue _____

West: Commercial _____

**NOTIFICATION OF CONTIGUOUS OCCUPANTS OR LAND OWNERS TO
ACCOMPANY APPLICATION FOR SPECIAL LAND USE PERMIT**

By signature, it is hereby acknowledged that I have been notified that Verizon Wireless

Intends to make an application for a special land use permit for the purpose of
location and operation of a 140-foot telecommunications facility (130-foot monopole with a 10-foot
lightning rod) and related ground equipment

on the premises described in the application.

NAME	ADDRESS
<u>Jeff CARTER</u>	<u>1720 Roswell St. Smyrna, GA 30080</u>
<u> </u>	<u> </u>

Alewine, Jennifer B.

From: donjarvis@spservices.biz
Sent: Wednesday, June 21, 2017 2:52 PM
To: Wendy Doyle; Alewine, Jennifer B.
Subject: Cottesford-landowner notification
Attachments: Cottesford-Notification of Cayce Foods Inc.docx

Team,

There were 4 landowners in which a notification was required. 3 have signed the notification and gave no push back to the tower. The 4th landowner, Cayce Foods, gave no push back to the tower during a phone conversation detailing the location, but has not responded to attempts as to signing the notification document since that 1st phone conversation.

The landowner has been notified by phone, email, and UPS with physical documents.

This landowner has clearly been notified but I have been unable to attain a signature.

Please see the attached 3 page doc detailing the property owner and the phone, email, and UPS notifications.

Don Jarvis
Site Placement Services
Chattanooga TN
423-504-8483
Fax 855-220-4525
donjarvis@spservices.biz

New Cell Tower Notification.

Concerning property owner located at 1680 Roswell St Smyrna GA 30080 (Cayce Foods). Chris Ogbuefi is the President and contact. This property is located next to the Verizon proposed site at 1700 Roswell St Smyrna GA 30080.



1 2 3 4

1)

1680 ROSWELL

Parcel Id: [17063400480](#) → ↻
Address: [1680 ROSWELL St](#) → RA
Owner: CAYCE PROPERTIES LLC
Ngh Code: None
Land Use Code: C4



Contact *Is this your business? Claim This Profile*

Cayce Foods Inc
Phone: (770) 432-6967
Web: www.caycefoods.com
Name: **Chris Ogbuefi**
Job Title: **President**

The property owner was notified per a discussion by phone on April 5th 2017. Chris agreed to review the notification documents and gave no pushback as to signing. A follow-up email was sent the same day of April 5th, 2017. This email contained the notification document to be signed, The application for permit, and an aerial picture as to where the proposed cell tower would be located. I called and left message for Chris on April 6th. I received no response. I gave another notification on April 10th, that included the same notification documents, and requested signature. After several calls to follow up with no reply, I gave another notification via UPS on April 20th. The landowner notification for signature, the application for permit, and the aerial map detailing the proposed cell tower, were all included. I also went by the Grocery Store in person on approximately May 19th and left my business card. The landowner has been notified by phone, email, and UPS containing the physical documents. I have had no push back as to the proposed tower and no response as to signing the notification. Below are the emails and proof of UPS notification.

Search Results > Message Detail Entire thread Print Previous Next

Subject: Proposed Tower Notification - signature request

From: <donjarvis@spservices.biz> (Add as Preferred Sender)

Date: Wed, Apr 05, 2017 9:28 pm

To: chris.oqbuefi@gmail.com

Hello Chris,
 Thank you for your speaking with me today. Per our discussion, Verizon Wireless is attempting to improve cell coverage in the area and will be requesting zoning approval to place a cell tower (130ft to 140ft) at the Public Storage site at 1700 Roswell St, Smyrna Ga 30080.
 The local zoning authority requires notification of landowners that share a property line with the Public Storage parcel.
 Attached is the notification form to be signed, copy of the application to verify the address of the proposed tower, and an aerial picture identifying the proposed tower location.
 Please sign your name and list the address of the nearby property (this states that you have been notified). Please scan/fax to me as soon as possible.

Thanks again for your time. If you have any questions, please reach out to me.

Don Jarvis
 Site Placement Services
 Chattanooga TN
 423-504-8483
 Fax: 855-220-4525
donjarvis@spservices.biz

Attachments	Size	Action(s)	Send To
<input type="checkbox"/> Surrounding landowner notification.pdf	17 k	Download	
<input type="checkbox"/> Surrounding Landowner Notification-Application for Permit.pdf	241 k	Download	
<input type="checkbox"/> 1700 Roswell location.docx	0.9 m	Download	

Search Results > Message Detail Entire thread Print Previous Next

Subject: [FWD: Proposed Tower Notification - signature request]

From: <donjarvis@spservices.biz> (Add as Preferred Sender)

Date: Mon, Apr 10, 2017 11:37 am

To: chris.oqbuefi@gmail.com

Hello Chris,
 I really appreciate your time,
 Not pushing...but when you get a minute today could you sign and scan/fax the notification back to me.
 Just sign your name/title and put the address of the store.

Thanks again!

Don Jarvis
 Site Placement Services
 Chattanooga TN
 423-504-8483
 Fax: 855-220-4525
donjarvis@spservices.biz

Shipment Receipt: Page #1 of 1

THIS IS NOT A SHIPPING LABEL. PLEASE SAVE FOR YOUR RECORDS.

SHIP DATE:
WED 19 APR 2017

EXPECTED DELIVERY DATE:
THUR 20 APR 2017 EOD

SHIP FROM:
DON JARVIS
932 FULLER GLENN CIRCLE
CHATTANOOGA TN 37421
(423) 504-8483

SHIP TO:
CHRIS
1680 ROSWELL ST SE
SMYRNA GA 30080-2259
BUSINESS

SHIPPED THROUGH:
THE UPS STORE #1995
CHATTANOOGA, TN 37421-3492
(423) 499-4440

SHIPMENT INFORMATION:
UPS GROUND COMMERCIAL
0 LBS 2.2 OZ ACTUAL WT
1.00 LBS BILLABLE WT
15.00X12.00X0.75 IN
DECLARED VALUE = 100.00 USD

TRACKING NUMBER: 1Z5RU2790318595639
SHIPMENT ID: MMGW3TG0DW105
SHIP REF 1: - -
SHIP REF 2: - -

DESCRIPTION OF GOODS:
DOCS

SHIPMENT CHARGES:	
GROUND COMMERCIAL	9.08
SERVICE OPTIONS	0.00
CMS PROCESSING FEE	0.20

TOTAL	\$9.28
-------	--------

COMPLETE ONLINE TRACKING: ENTER THIS ADDRESS IN YOUR WEB BROWSER TO TRACK:
[HTTP://THEUPSSTORE.COM](http://theupsstore.com) (SELECT TRACKING, ENTER SHIPMENT ID #) SHIPMENT
QUESTIONS? CONTACT SHIPPED THROUGH ABOVE.

INFRASTRUCTURE

WATER AND SEWER

A letter from Scott Stokes, Director of Public Works Department is required stating that water is available and the supply is adequate for this project.

A letter from Scott Stokes, Director of Public Works Department is required stating that sewer is available and the capacity is adequate for this project.

- If it is Cobb County Water, Cobb County must then furnish these letters.

Comments:

N/A

TRANSPORTATION

Access to Property? Access to be provided by existing access to self-storage facility at Roswell Street.

Improvements proposed by developer? N/A

Comments:

ZONING DISCLOSURE REPORT

Has the applicant* made, within two years immediately preceding the filing of this application for a special land use permit, campaign contributions aggregating \$250 or more or made gifts having in the aggregate a value of \$250 or more to the Mayor or any member of the City Council or Planning and Zoning Board who will consider this application?

No

If so, the applicant* and the attorney representing the applicant* must file a disclosure report with the Mayor and City Council of the City of Smyrna, within 10 days after this application is filed.

Please supply the following information, which will be considered as the required disclosure:

The name of the Mayor or member of the City Council or Planning and Zoning Board to whom the campaign contribution or gift was made:

N/A

The dollar amount of each campaign contribution made by the applicant* to the Mayor or any member of the City Council or Planning and Zoning Board during the two years immediately preceding the filing of this application, and the date of each such contribution:

N/A

An enumeration and description of each gift having a value of \$250 or more by the applicant* to the Mayor and any member of the City Council or Planning and Zoning Board during the two years immediately preceding the filing of this application:

N/A

Does the Mayor or any member of the City Council or Planning and Zoning Board have a property interest (direct or indirect ownership including any percentage of ownership less than total) in the subject property?

None known at this time.

If so, describe the natural and extent of such interest: N/A

ZONING DISCLOSURE REPORT (CONTINUED)

Does the Mayor or any member of the City Council or Planning and Zoning Board have a financial interest (direct ownership interests of the total assets or capital stock where such ownership interest is 10% or more) of a corporation, partnership, limited partnership, firm, enterprise, franchise, association, or trust, which has a property interest (direct or indirect ownership, including any percentage of ownership less than total) upon the subject property?
None known at this time.

If so, describe the nature and extent of such interest:
N/A

Does the Mayor or any member of the City Council or Planning and Zoning Board have a spouse, mother, father, brother, sister, son, or daughter who has any interest as described above?
None known at this time.

If so, describe the relationship and the nature and extent of such interest:
N/A

If the answer to any of the above is "Yes", then the Mayor or the member of the City Council or Planning and Zoning Board must immediately disclose the nature and extent of such interest, in writing, to the Mayor and City Council of the City of Smyrna. A copy should be filed with this application**. Such disclosures shall be public record and available for public inspection any time during normal working hours.

We certify that the foregoing information is true and correct, this 12 day of JULY,
2017



(Applicant's Signature)


(Attorney's Signature, if applicable)

Notes

* Applicant is defined as any individual or business entity (corporation, partnership, limited partnership, firm enterprise, franchise, association or trust) applying for rezoning action.

** Copy to be filed with the City of Smyrna Zoning Department and City Clerk along with a copy of the zoning application including a copy of the legal description of the property.

Exhibit B

908PR

07158.02

Smyrna

900
500
814.00
FILED AND RECORDED
93 AUG 16 PM 11:20

6

SPECIAL WARRANTY DEED

STATE OF GEORGIA COUNTY OF Cobb

CLERK SUPERIOR COURT

THIS INDENTURE, made the 5 day of August, in the year One Thousand Nine Hundred Ninety-Three, between Concept Warehouse I, Ltd., a Georgia limited partnership, as party of the first part, hereinafter called Grantor, and Storage Equities, Inc, a California corporation, 600 N. Brand Boulevard, Suite 300, Glendale, California 91203-5050, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of Ten and 00/100 (\$10.00) DOLLARS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee the property described as follows:

See Legal Description attached hereto as Exhibit A.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims by, through or under the party of the first part, but not otherwise.

1275.00

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in presence of:

[Signature]
Unofficial Witness

Joanuel M. Suskie
Official Witness



Executed by Notary Public on August 5, 1993.

Commission Expires: February 1, 1995

CONCEPT WAREHOUSE I, LTD., a Georgia limited partnership (Seal)

By: Storage Partners I, L.P., a Georgia limited partnership, the general partner (Seal)

By: Storage-USA Realty, Inc., a Maryland corporation, its sole general partner (Seal)

By: [Signature] (Seal)

Cobb County, Georgia Real Estate Transfer Tax
Paid 1275.00
Date 8-16-93
J. C. Stephenson
Clerk of Superior Court



EXHIBIT A

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 634 of the 17th District, 2nd Section of Cobb County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the point of intersection of the line common to Land Lots 633 and 634, said District, Section and County with the southeastern right-of-way line of Smyrna-Roswell Road (a 70-foot right-of-way); thence in a southwesterly direction, along said right-of-way line of Smyrna-Roswell Road, a distance of 568.00 feet to an iron pin placed marking the TRUE POINT OF BEGINNING; FROM THE TRUE POINT OF BEGINNING AS TRUS ESTABLISHED, running thence south 22 degrees 39 minutes 45 seconds East a distance of 156.40 feet to a 3/4" orimp top pipe found; thence North 54 degrees 16 minutes 25 seconds East a distance of 88.00 feet to an iron pin placed; thence South 01 degree 56 minutes 00 seconds East a distance of 347.40 feet to an iron pin placed on the northern right-of-way line of Hawthorne Avenue (a 30-foot right-of-way); thence along said right-of-way line of Hawthorne Avenue, South 88 degrees 55 minutes 29 seconds West a distance of 339.40 feet to an iron pin placed; thence leaving said right-of-way line of Hawthorne Avenue and running North 04 degrees 28 minutes 00 seconds West a distance of 278.20 feet to an iron pin placed on said right-of-way line of Smyrna-Roswell Road; thence North 52 degrees 08 minutes 15 seconds East, along said right-of-way line of Smyrna-Roswell Road, a distance of 275.60 feet to the iron pin placed marking the TRUE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PROPERTY is shown as 2.818 acres on and is described according to plat of survey prepared for Storage Equities, Inc. by Chester M. Smith, Jr., Georgia Registered Land Surveyor No. 1445, Metro Engineering and Surveying Co., Inc., dated July 13, 1993, which said plat of survey is incorporated herein by this reference and made a part of this description.

EXHIBIT "B"

**Permitted Encumbrances
(Cobb County)**

1. All taxes subsequent to the year 1992, not yet due and payable.
2. Permit for Anchors, Guy Poles and Wires from Herbert R. Harris, Jr., to Georgia Power Company, dated December 6, 1962, recorded in Deed Book 682, page 362, Cobb County, Georgia Records.
3. Survey for Storage Equities, Inc. prepared by Metro Engineering and Surveying Co., Inc., bearing the seal and certification of Chester M. Smith, Georgia Registered Land Surveyor No. 1445, dated July 13, 1993, discloses the following:
 - a. storm drainage facilities located in the northeastern portion of property and entering the northwestern portion of property;
 - b. building setback lines as follows: 30 feet along the western, southern (adjacent to Hawthorne Road) and northeastern boundaries of property; 50 feet along the northwestern boundary of property (adjacent to Smyrna-Roswell Road); and 20 feet along the eastern boundary of property.

Exhibit C

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY JAMES E. MCQUIRE LLC, EFFECTIVE DATE OF JULY 20, 2016, BEING FILE NO. 1180-022, FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

1. PERMIT FOR ANCHORS, GUY POLES AND WIRES FROM HERBERT R. HARRIS, JR. TO GEORGIA POWER COMPANY, DATED DECEMBER 6, 1962, RECORDED IN DEED BOOK 682, PAGE 362, COBB COUNTY, GEORGIA RECORDS.

(THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE DESCRIPTION.)

2. UNRECORDED MASTER LEASE AGREEMENT BETWEEN PUBLIC STORAGE, INC., A CALIFORNIA CORPORATION AND CELCO PARTNERSHIP, A DELAWARE GENERAL PARTNERSHIP, D/B/A VERIZON WIRELESS, DATED AUGUST 3, 2004; TO BE SUPPLEMENTED BY AGREEMENT BETWEEN STORAGE EQUITIES, INC., A CALIFORNIA CORPORATION, AND CELCO PARTNERSHIP, A DELAWARE GENERAL PARTNERSHIP, D/B/A VERIZON WIRELESS. NOTE: NO LEGAL DESCRIPTION OF SUBJECT PROPERTY IS SET FORTH IN THE FURNISHED COPY OF THE MASTER LEASE AGREEMENT, HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LEASE AGREEMENT CONVEYS THE TITLE TO AN INTEREST IN SUBJECT PROPERTY.

ONLY A PARTIAL DOCUMENT HAS PROVIDED; NO PLOTTABLE DESCRIPTION WAS INCLUDED.

SUBJECT PROPERTY

OWNER: CONCEPT WAREHOUSE 1 LTD
C/O PUBLIC STORAGE MANAGEMENT INC
(PER TAX ASSESSOR)

SITE ADDRESS: 1700 ROSWELL ST. SMYRNA, GA 30080

PARCEL ID: 17063400180

AREA: 2.8 ACRES (PER TAX ASSESSOR)

ZONED: OO - OFFICE DISTRIBUTION

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 7531 PAGE 52

SITE INFORMATION

PROPOSED LEASE AREA #1 = 187 SQUARE FEET (0.004 ACRES)

LATITUDE = 33°53'26.43" (NAD 83)

LONGITUDE = 84°30'10.22" (NAD 83)

AT CENTER OF PROPOSED TOWER

ELEVATION AT CENTER OF PROPOSED TOWER = 1070.2' A.M.S.L.

**PROPOSED 20' UTILITY/
TEMPORARY CONSTRUCTION EASEMENT**

TOGETHER WITH A PROPOSED 20-FOOT UTILITY/TEMPORARY CONSTRUCTION EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/4-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAVING AN 80-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 3594; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 54°52'08" EAST, 64.40 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 36°38'09" EAST, 91.78 FEET TO A POINT; THENCE, SOUTH 00°24'11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 37.02 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 00°33'13" WEST, 11.42 FEET TO THE ENDING AT A POINT ON HAWTHORNE AVENUE (HAVING A 40-FOOT RIGHT-OF-WAY).

PROPOSED 20' INGRESS-EGRESS EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT INGRESS-EGRESS EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/4-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAVING AN 80-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 3594; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 54°52'08" EAST, 64.40 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 36°38'09" EAST, 91.78 FEET TO A POINT; THENCE, SOUTH 00°24'11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 37.02 FEET TO THE ENDING AT A POINT.

PROPOSED LEASE AREA #1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/4-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAVING AN 80-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 3594; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 54°52'08" EAST, 64.40 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 36°38'09" EAST, 91.78 FEET TO A POINT; THENCE, SOUTH 00°24'11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 37.02 FEET TO A POINT; THENCE, NORTH 00°33'13" EAST, 10.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 89°26'47" WEST, 17.00 FEET TO A POINT; THENCE, NORTH 00°33'13" EAST, 11.00 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 17.00 FEET TO A POINT; THENCE, SOUTH 00°33'13" WEST, 11.00 FEET TO A POINT AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.004 ACRES (187 SQUARE FEET), MORE OR LESS.

PROPOSED LEASE AREA #2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/4-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAVING AN 80-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 3594; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH 54°52'08" EAST, 64.40 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 36°38'09" EAST, 91.78 FEET TO A POINT; THENCE, SOUTH 00°24'11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 37.02 FEET TO A POINT; THENCE, NORTH 00°33'13" EAST, 10.00 FEET TO A POINT; THENCE, NORTH 89°26'47" WEST, 17.00 FEET TO A POINT; THENCE, NORTH 00°33'13" EAST, 11.00 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 2.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 00°33'13" EAST, 18.00 FEET TO A POINT; THENCE, SOUTH 89°26'47" EAST, 10.50 FEET TO A POINT; THENCE, SOUTH 00°33'13" WEST, 18.00 FEET TO A POINT; THENCE, NORTH 89°26'47" WEST, 10.50 FEET TO A POINT AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.004 ACRES (189 SQUARE FEET), MORE OR LESS.



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS EASEMENT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF VERIZON WIRELESS AND EXCLUSIVELY FOR THE TRANSFER OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFER OF THE PARENT PARCEL, NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC. DATE OF LAST FIELD VISIT: 11/24/2013

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 83 DATUM AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) GEORGIA WEST ZONE.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 13067C0019H DATED MARCH 4, 2013.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

CERTIFICATE OF AUTHORIZATION: LSF000843

SITE NAME:
COTTESFORD

LEGEND

POB POINT OF BEGINNING	○ SANITARY SEWER MANHOLE
PCP POINT OF COMMENCEMENT	○ STORM DRAIN MANHOLE
PS IRON PIN SET (1/2" REBAR WITH CAP)	○ UTILITY POLE
RF IRON PIN FOUND	○ LIGHT POLE
RE REBAR	○ GUY WIRE
CMF CONCRETE MONUMENT FOUND	○ WATER VALVE
LP UTILITY POLE	○ WATER METER
LF LIGHT POLE	○ GAS VALVE
FR ROAD POLE	○ GAS METER
SMH SANITARY SEWER MANHOLE	○ FIRE HYDRANT
SDMH STORM DRAIN MANHOLE	○ SANITARY SEWER CLEANOUT
HW HOLEY	○ GREASE TRAP MANHOLE
FH FIRE HYDRANT	○ APPROX. WATER LINE
ET TOP OF EASEMENT	○ SEWER LINE
TC TOP OF CURB	○ OVERHEAD UTILITIES
BC BACK OF CURB	○ APPROX. ELECTRIC LINE
TM TOP OF WALL	○ APPROX. GAS LINE
BW BOTTOM OF WALL	○ APPROX. TELEPHONE LINE
OU OVERHEAD UTILITY	○ FENCE LINE
UE UNDERGROUND UTILITY	
CMF CORRUGATED METAL PIPE	
PCP REINFORCED CONCRETE PIPE	
PVC POLYVINYL CHLORIDE PIPE	
GW GUY WIRE ANCHOR	
TR TRANSFORMER	
JS JUNCTION BOX	
SWC SINGLE WING CATCH BASIN	
DWCB DOUBLE WING CATCH BASIN	
D DROP INLET	
CI CURB INLET	
CLF CHAIN LINK FENCE	
WV WATER VALVE	
WM WATER METER	
CO SEWER CLEANOUT	
GV GAS VALVE	
N/W NOW OR FORMERLY	
R/W RIGHT-OF-WAY	

RELEASE DESCRIPTION	REVISED LEASE AREA - NEW
DATE	06/23/2016
ADDED TITLE EAL	01/30/2017
MARKED TOWER - NEW	05/12/2017
24x36 SHEET	07/20/2017

A SURVEY PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

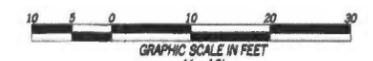
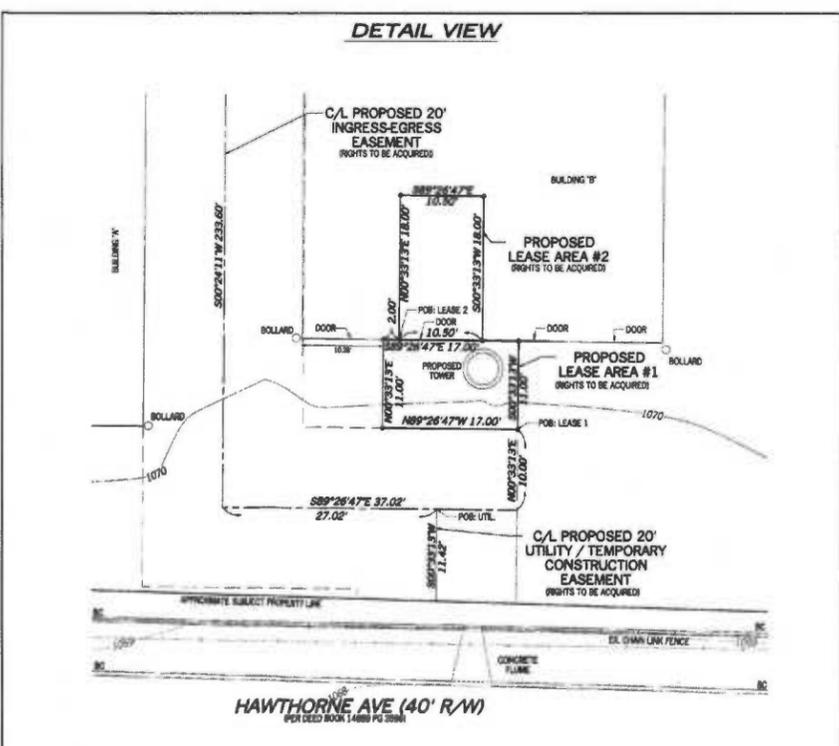
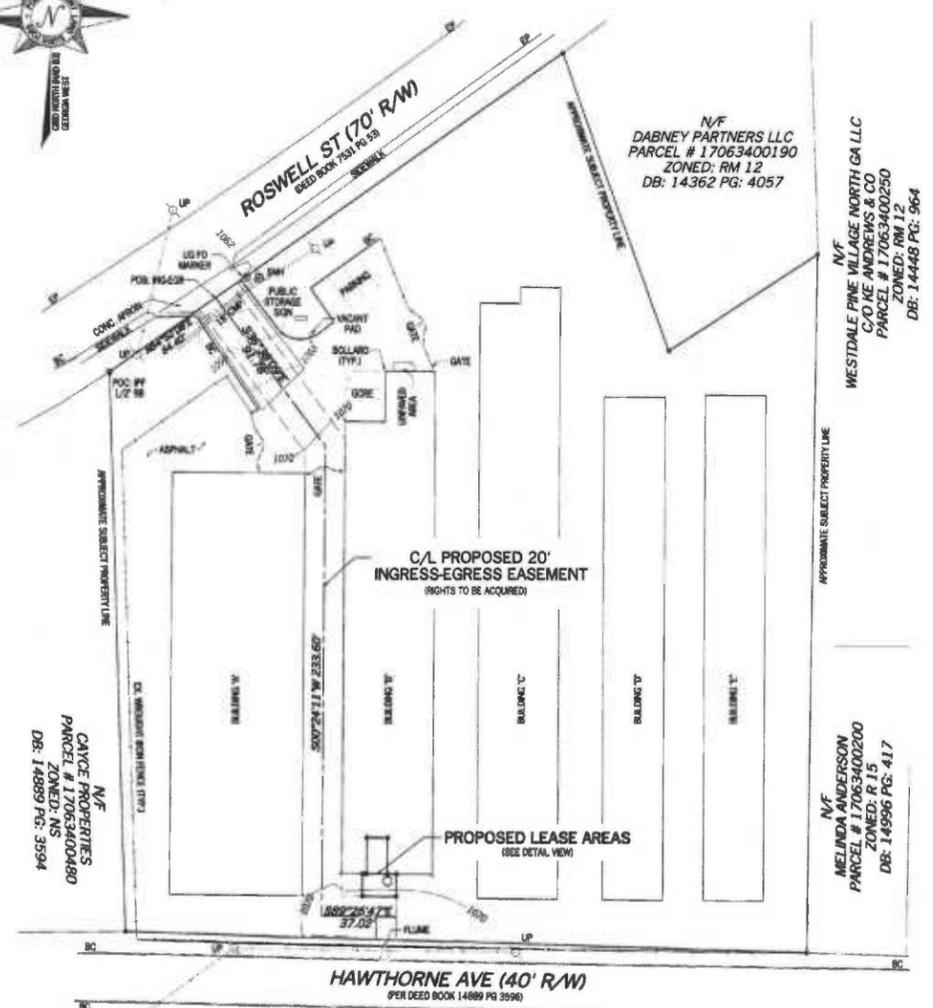


SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
1010 Pennsylvania Avenue
McDonough, GA 30253
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



LAND LOT: 634
DISTRICT: 17TH
SECTION: 2ND
CITY: SMYRNA
COUNTY: COBB
STATE: GEORGIA
DATE: DECEMBER 07, 2015
DRAWN BY: EAL / NRW
CHKD BY: KLS
APPRVD BY: C. INER
JOB #: G150713
FILE #: 17D-104
SHEET NUMBER:

1
OF 1 SHEETS



TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY JAMES E. MCGUIRE LLC, EFFECTIVE DATE OF JULY 20, 2016, BEING FILE NO. 1180-022, FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

1. PERMIT FOR ANCHORS, GUY POLES AND WIRES FROM HERBERT R. HARRIS, JR. TO GEORGIA POWER COMPANY, DATED DECEMBER 6, 1962, RECORDED IN DEED BOOK 562, PAGE 382, COBB COUNTY, GEORGIA RECORDS.

(THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE DESCRIPTION.)

2. UNRECORDED MASTER LEASE AGREEMENT BETWEEN PUBLIC STORAGE, INC., A CALIFORNIA CORPORATION AND CELCO PARTNERSHIP, A DELAWARE GENERAL PARTNERSHIP, D/B/A VERIZON WIRELESS, DATED AUGUST 3, 2004; TO BE SUPPLEMENTED BY AGREEMENT BETWEEN STORAGE EQUITIES, INC., A CALIFORNIA CORPORATION, AND CELCO PARTNERSHIP, A DELAWARE GENERAL PARTNERSHIP, D/B/A VERIZON WIRELESS. NOTE: NO LEGAL DESCRIPTION OF SUBJECT PROPERTY IS SET FORTH IN THE FURNISHED COPY OF THE MASTER LEASE AGREEMENT, HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LEASE AGREEMENT CONVEYS THE TITLE TO AN INTEREST IN SUBJECT PROPERTY.

(ONLY A PARTIAL DOCUMENT WAS PROVIDED; NO PLOTTABLE DESCRIPTION WAS INCLUDED.)

SUBJECT PROPERTY

OWNER: CONCEPT WAREHOUSE 1 LTD
C/O PUBLIC STORAGE MANAGEMENT INC
(PER TAX ASSESSOR)

SITE ADDRESS: 1700 ROSWELL ST, SMYRNA, GA 30080

PARCEL ID: 17063400180

AREA: 2.8 ACRES (PER TAX ASSESSOR)

ZONED: OD - OFFICE DISTRIBUTION

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 7531 PAGE 52

SITE INFORMATION

PROPOSED LEASE AREA #1 = 187 SQUARE FEET (0.004 ACRES)

LATITUDE = 33°53'26.43" (NAD 83)

LONGITUDE = -84°30'10.22" (NAD 83)

ELEVATION AT CENTER OF PROPOSED TOWER = 1070.2' A.M.S.L.

**PROPOSED 20' UTILITY/
TEMPORARY CONSTRUCTION EASEMENT**

TOGETHER WITH A PROPOSED 20-FOOT UTILITY/TEMPORARY CONSTRUCTION EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

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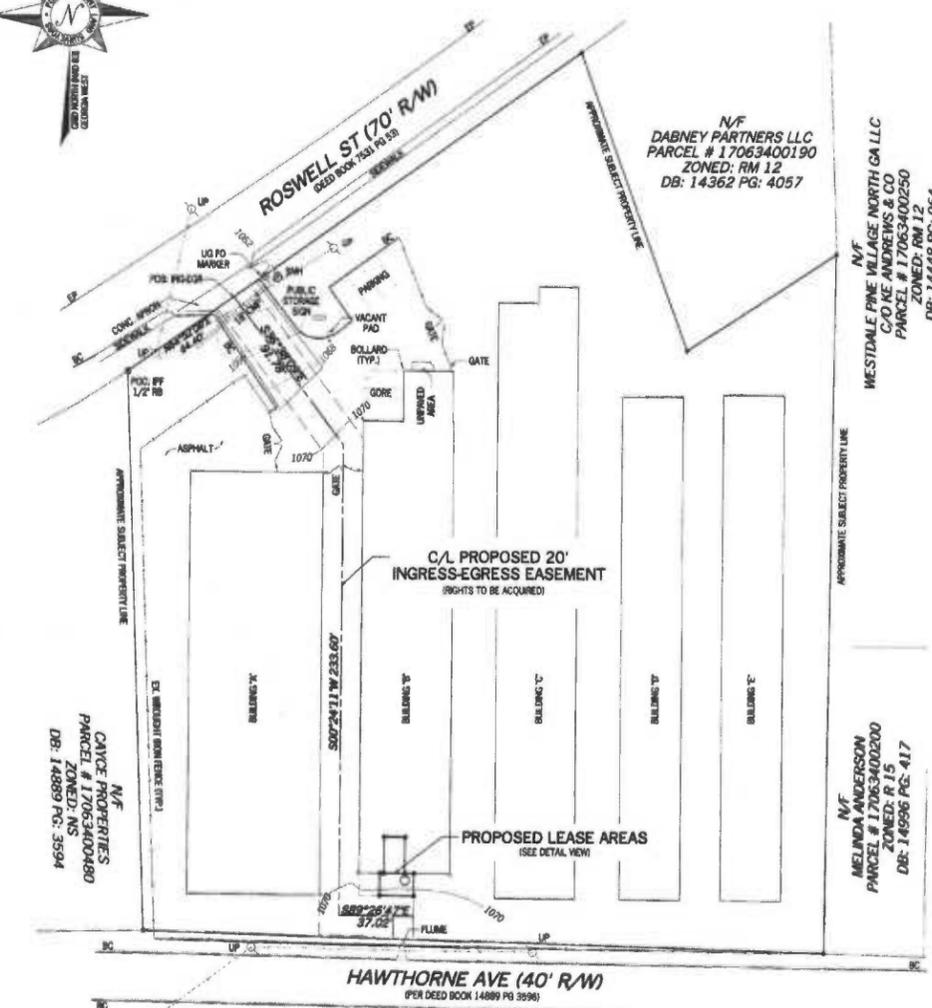
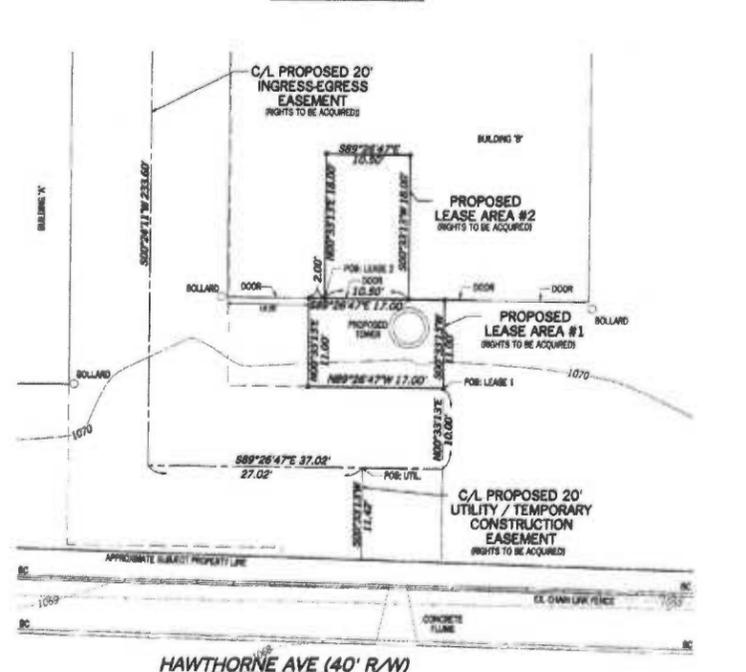
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DETAIL VIEW



GENERAL NOTES

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THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY. THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC. (DATE OF LAST FIELD VISIT: 11/24/2015)

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 83 DATUM AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) GEORGIA WEST ZONE.

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CERTIFICATE OF AUTHORIZATION: LS000843

**SITE NAME:
COTTESFORD**

- LEGEND**
- POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - PP POINT OF BEGINNING OF REBAR WITH CAP
 - RF ROW PIN FOUND
 - REBAR
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SSWP SANITARY SEWER MANHOLE
 - SDM STORM DRAIN MANHOLE
 - FW FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMF CORRUGATED METAL PIPE
 - RCF REINFORCED CONCRETE PIPE
 - PCF POLYETHYLENE GLYCOL PIPE
 - SW GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - SWCB DOUBLE WING CATCH BASIN
 - DI DROP INLET
 - CLF CURB INLET
 - CLF CURB LINE FENCE
 - WW WATER VALVE
 - WM WATER METER
 - CO SEWER CLEANOUT
 - GV GAS VALVE
 - N/F ROW OF FORMERLY R/W RIGHT-OF-WAY
 - SSW SANITARY SEWER MANHOLE
 - SDM STORM DRAIN MANHOLE
 - FW FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BACK OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
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 - DI DROP INLET
 - CLF CURB INLET
 - CLF CURB LINE FENCE
 - WW WATER VALVE
 - WM WATER METER
 - CO SEWER CLEANOUT
 - GV GAS VALVE
 - N/F ROW OF FORMERLY R/W RIGHT-OF-WAY

DATE	RELEASE DESCRIPTION
06/23/2016	RELEASED LEASE AREA - HWY
07/20/2017	ADDED TITLE - EAL
09/12/2017	MOVED TOWER - HWY
07/20/2017	24x36 SHEET

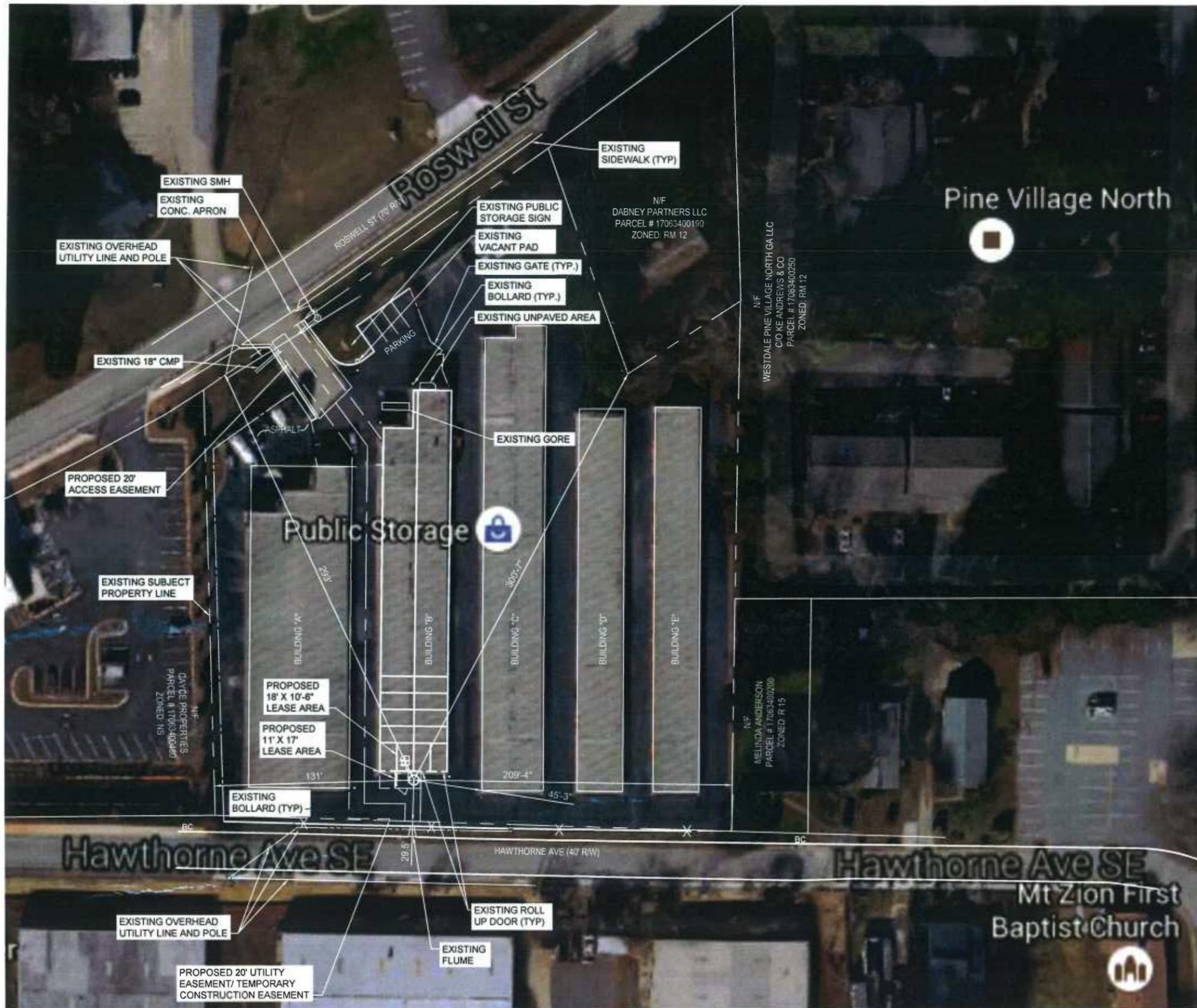
A SURVEY PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022



SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
1010 Pennsylvania Avenue
McDonough, GA 30253
(p) 678.565.4440 (f) 678.565.4497
(w) pointtopointsurvey.com



LAND LOT: 634
DISTRICT: 17TH
SECTION: 2ND
CITY: SMYRNA
COUNTY: COBB
STATE: GEORGIA
DATE: DECEMBER 07, 2015
DRAWN BY: EAL / NRW
CHKD BY: KLS
APPRVD BY: C. INER
JOB #: G150713
FILE #: 17D-104
SHEET NUMBER:
1
OF 1 SHEETS



PREPARED FOR:
verizon
 10300 OLD ALABAMA ROAD CONNECTOR
 ALPHARETTA GA 30022

A&E FIRM:
TOWERSOURCE
 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL. 678-990-2338
 WWW.TOWERSOURCEINC.COM

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A&E PROJECT #: ---
 DRAWN BY: JBE
 CHECKED BY: EBU

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION



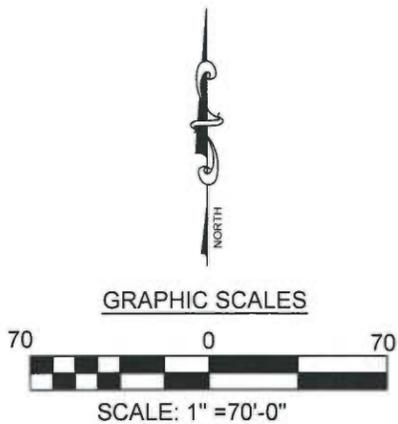
VERIZON WIRELESS SITE NAME:
COTTESFORD

TOWER OWNER / SITE NUMBER:
 VERIZON

DESIGN TYPE:
 GREENFIELD

SHEET TITLE:
 AERIAL SITE PLAN

DRAWING NO. **A-1** REVISION NO. **0**



AERIAL SITE PLAN
 SCALE: 1" = 70'-0"

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A&E PROJECT #:	--
DRAWN BY:	JBE
CHECKED BY:	EBU

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	09/08/17	ISSUED FOR CONSTRUCTION



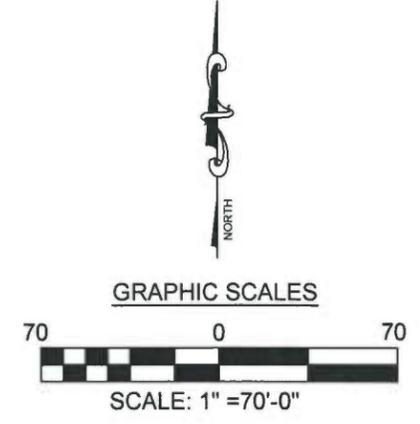
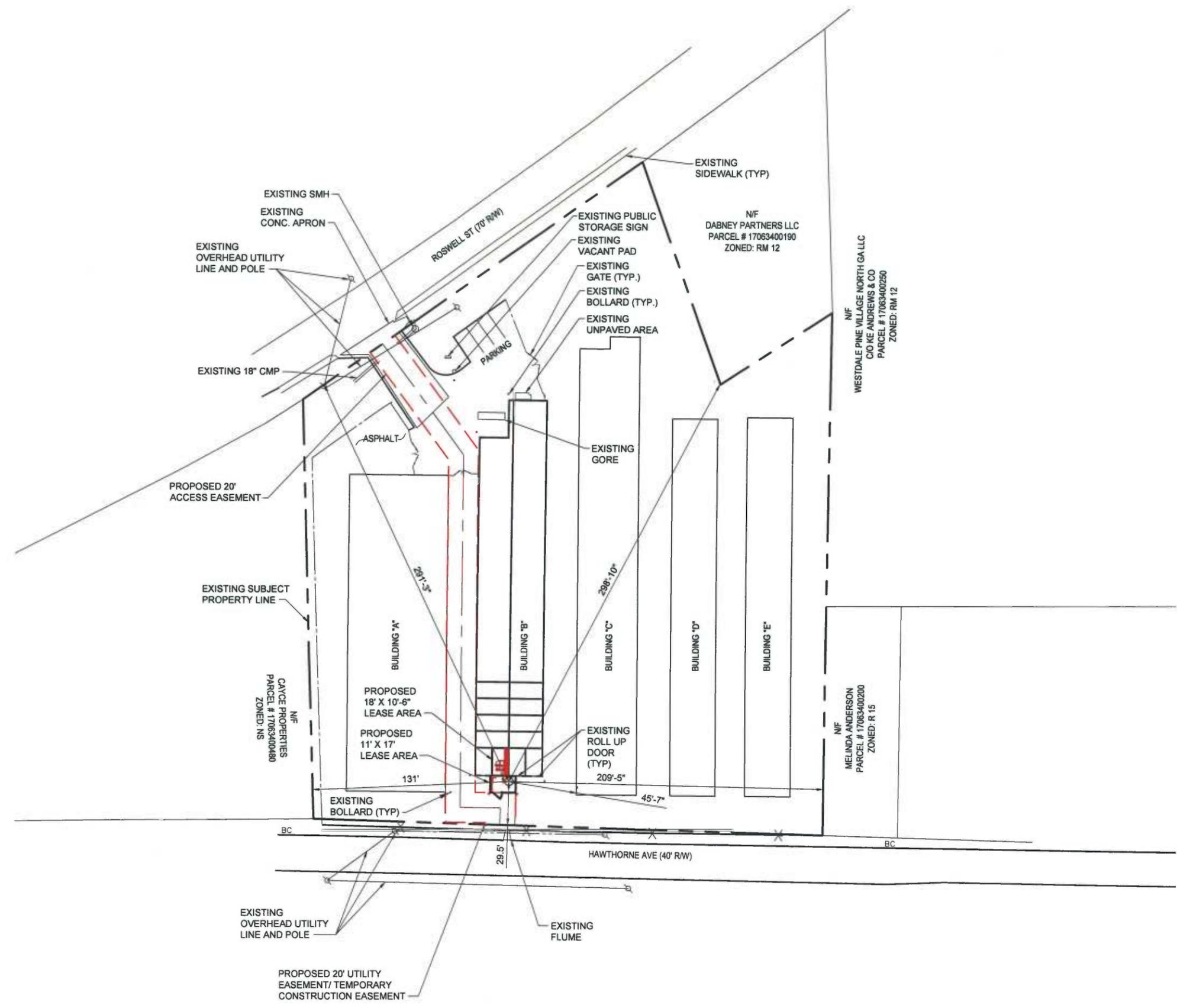
VERIZON WIRELESS SITE NAME:
COTTESFORD

TOWER OWNER / SITE NUMBER:
 VERIZON

DESIGN TYPE:
 GREENFIELD

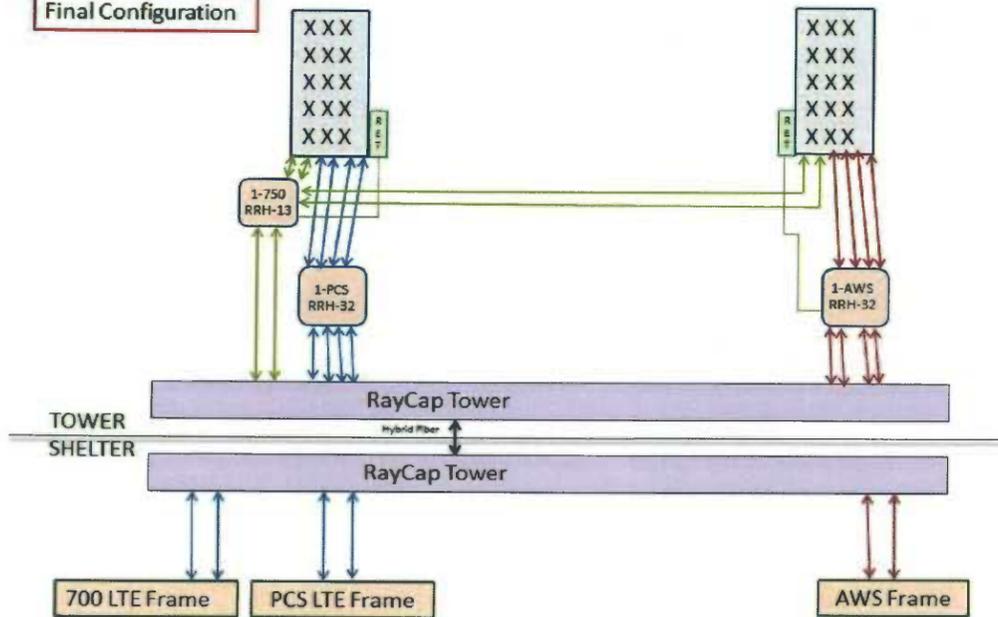
SHEET TITLE:
OVERALL SITE PLAN

DRAWING NO. **C-2** REVISION NO. **0**



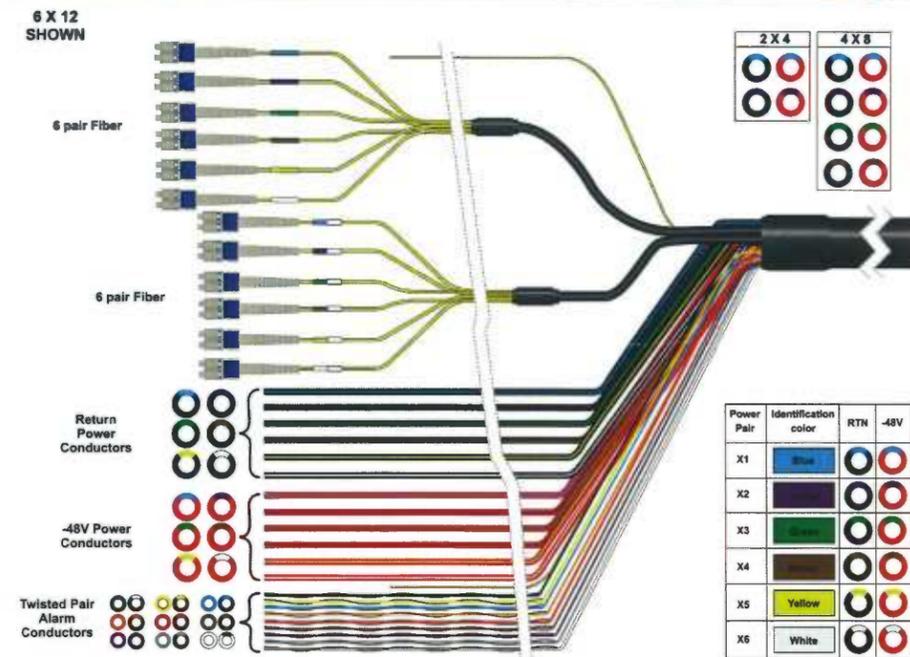
OVERALL SITE PLAN
 SCALE: 1" = 70'-0"

Final Configuration



ANTENNA DIAGRAM

Technical Publication



Based on the following national standard: ANSI/TIA/EIA 598-A, Optical Fiber Cable Color Coding

FIBER COLOR CODE (CONTACT CM FOR COLOR COPY)

750 MHz	D1			D2			D3				
	LTE 2X4 MIMO			Sector 1			Sector 2			Sector 3	
Antenna Center Line (ft)	130			130			130				
Antenna Tip Height (ft)	133.2			133.2			133.2				
Antenna Model	80010865			80010865			80010865				
Antenna Manufacturer:	KATHREIN			KATHREIN			KATHREIN				
Antenna Ports	R1- & R2+			R1- & R2+			R1- & R2+				
Coax (1-5/8" Hybrid)	1			1			1				
Azimuth	0			120			240				
Mechanical Tilt	0			0			0				
Electrical Tilt	2			2			2				
TMA Model											
TMA Manufacturer											
Remote Radio Head Model	RRUS B13 & A2			RRUS B13 & A2			RRUS B13 & A2				
Remote Radio Head Quantity	1			1			1				
Remote Radio A2 Module	1			1			1				
850 MHz	CDMA										
	Antenna Center Line										
	Antenna Tip Height										
	Antenna Model										
	Antenna Manufacturer:										
	Antenna Ports										
	Coax										
	Azimuth										
	Mechanical Tilt										
	Electrical Tilt										
PCS	LTE 4X4 MIMO										
	Antenna Center Line	130			130			130			
	Antenna Tip Height	133.2			133.2			133.2			
	Antenna Model	shared with 700 MHz			shared with 700 MHz			shared with 700 MHz			
	Antenna Manufacturer:										
	Antenna Ports	Y1-, Y1+, Y2-, Y2+			Y1-, Y1+, Y2-, Y2+			Y1-, Y1+, Y2-, Y2+			
	Coax (1-5/8" Hybrid)	shared with 700 MHz			shared with 700 MHz			shared with 700 MHz			
	Azimuth	0			120			240			
	Mechanical Tilt	0			0			0			
	Electrical Tilt	2			2			2			
PCS	CDMA										
	Antenna Center Line										
	Antenna Tip Height										
	Antenna Model										
	Antenna Manufacturer:										
	Antenna Ports										
	Coax										
	Azimuth										
	Mechanical Tilt										
	Electrical Tilt										
AWS	LTE 4X4 MIMO										
	Antenna Center Line	130			130			130			
	Antenna Tip Height	133.2			133.2			133.2			
	Antenna Model	80010865			80010865			80010865			
	Antenna Manufacturer:	KATHREIN			KATHREIN			KATHREIN			
	Antenna Ports	Y1-, Y1+, Y2-, Y2+			Y1-, Y1+, Y2-, Y2+			Y1-, Y1+, Y2-, Y2+			
	Coax (1-5/8" Hybrid)	shared with 700 MHz			shared with 700 MHz			shared with 700 MHz			
	Azimuth	0			120			240			
	Mechanical Tilt	0			0			0			
	Electrical Tilt	2			2			2			

Additional Tower Components	
RRH Model Number	RRUS32
RRH Quantity	6 on top
RRH Model Number	RRUS B13 & A2
RRH Quantity	3 on top
RayCap Model Number	RC3DC-3315-PF-48
RayCap Quantity	3
Diplexer Type	
Diplexer Manufacturer	
Diplexer Model	
Diplexer Quantity	none

RF DESIGN SHEET
DWS R1

1. CONTRACTOR TO VERIFY MOST CURRENT RF DESIGN WORKSHEET (DWS)
2. REFER TO DWS AND VERIFY AZIMUTH AND DOWNTILT INFORMATION.
3. REFER TO STRUCTURAL ANALYSIS OF THE TOWER FOR COAX ROUTING

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA GA 30022

A&E FIRM:
TOWERSOURCE
1875 OLD ALABAMA ROAD, SUITE 1008
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A&E PROJECT #:	--
DRAWN BY:	JBE
CHECKED BY:	EBU

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
D	08/06/17	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COTTESFORD

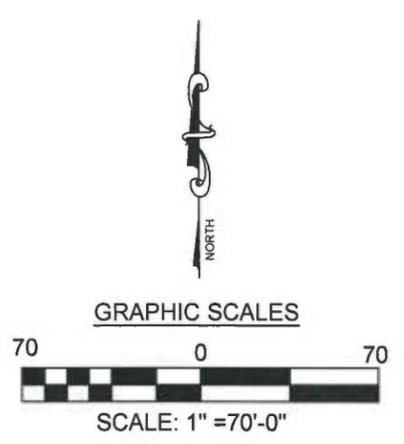
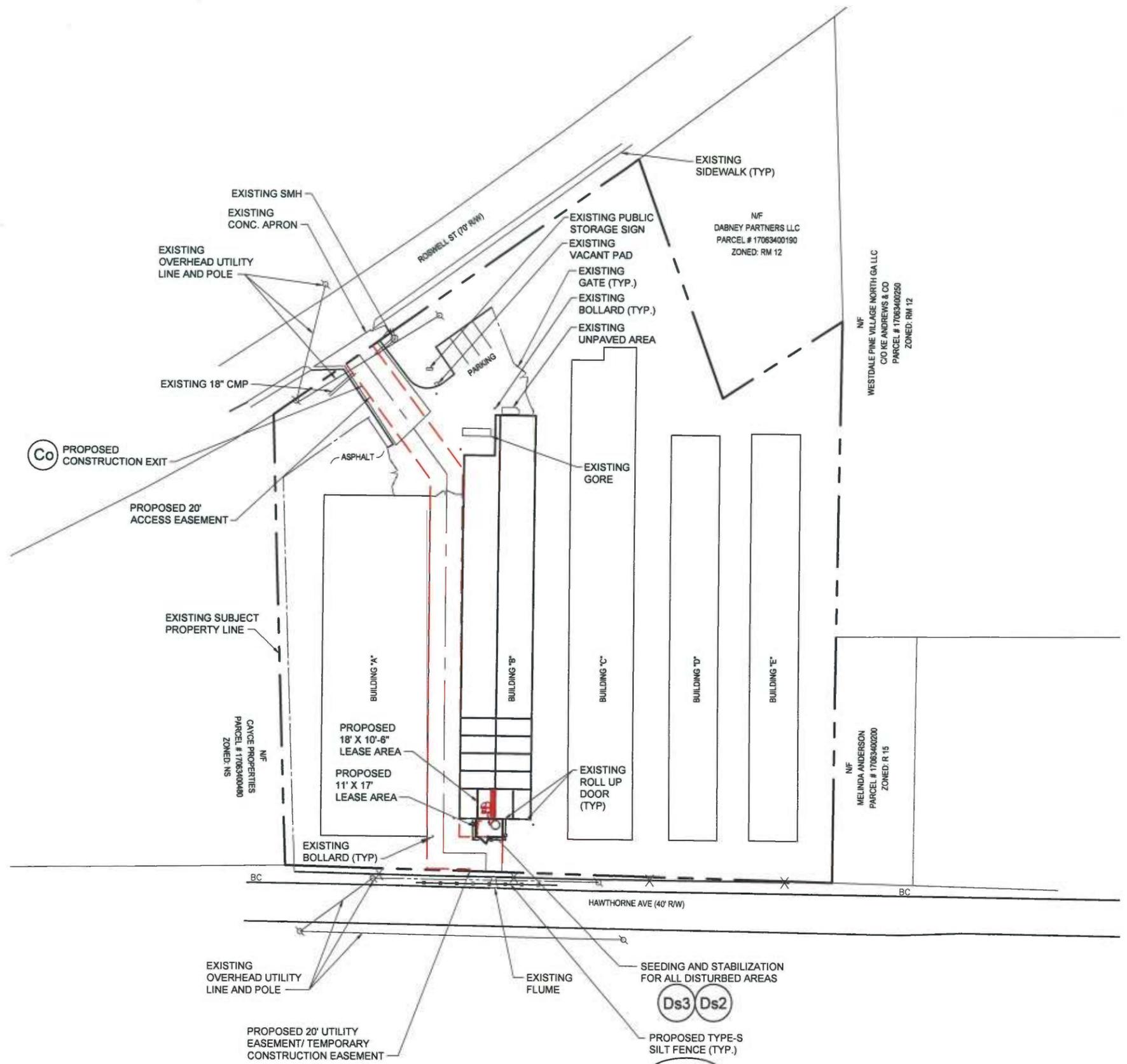
TOWER OWNER / SITE NUMBER:
VERIZON

DESIGN TYPE:
GREENFIELD

SHEET TITLE:
FIBER COLOR CODE

DRAWING NO. C-5	REVISION NO. 0
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DISTURBED AREA:
381 SQ FT/0.008 ACRES



GRADING AND EROSION CONTROL PLAN
SCALE: 1" = 70'-0"

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA GA 30022

A&E FIRM:
TOWERSOURCE
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
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A&E PROJECT #:	--
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CHECKED BY:	EBU

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	08/08/17	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COTTESFORD

TOWER OWNER / SITE NUMBER:
VERIZON

DESIGN TYPE:
GREENFIELD

SHEET TITLE:
GRADING & EROSION CONTROL PLAN

DRAWING NO. **C-7A** REVISION NO. **0**

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CHECKED BY:	EBU

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	06/08/17	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COTTESFORD

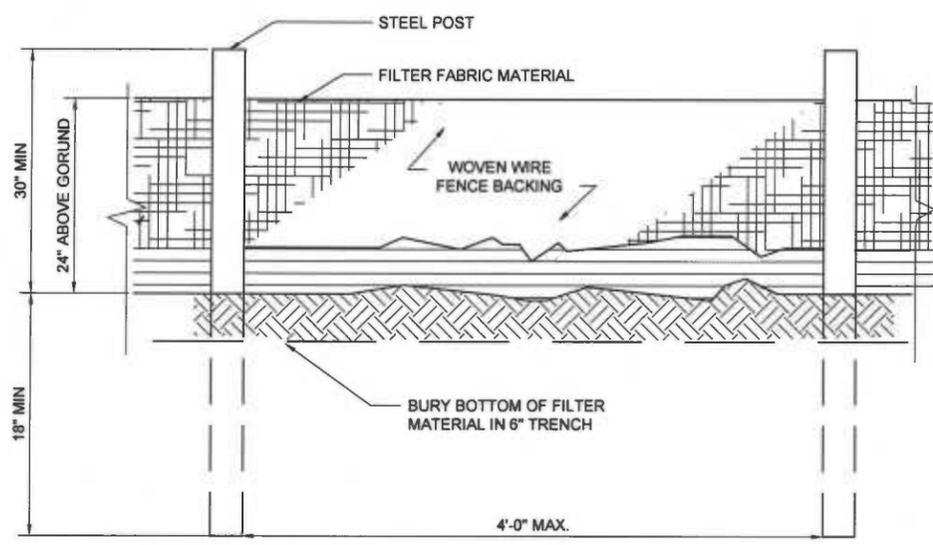
TOWER OWNER / SITE NUMBER:
 VERIZON

DESIGN TYPE:
 GREENFIELD

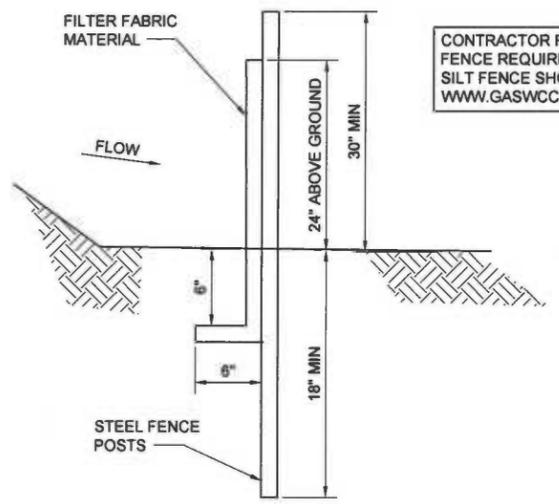
SHEET TITLE:
EROSION CONTROL DETAILS

DRAWING NO.
C-7B

REVISION NO.
0



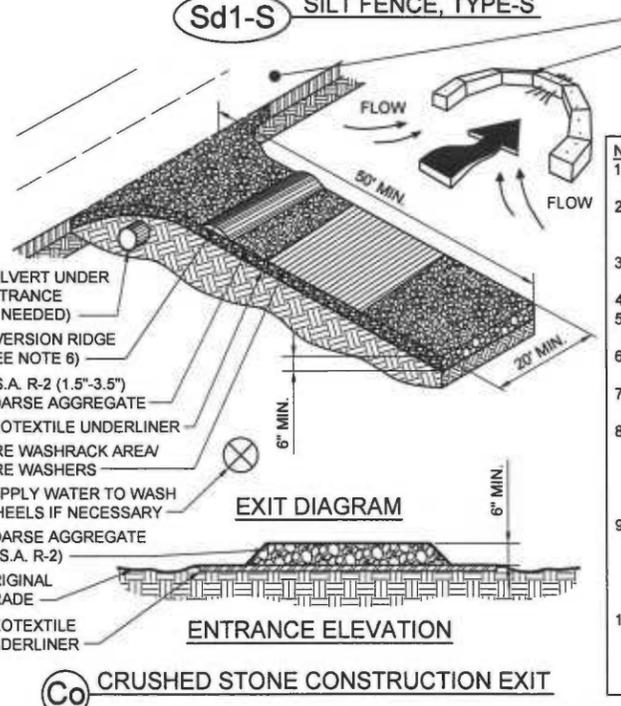
NOTE: USE 36" DOT APPROVED FABRIC USE STEEL POSTS



CONTRACTOR RESPONSIBLE FOR MEETING AND MAINTAINING SILT FENCE REQUIREMENTS PER GASWCC 6th EDITION ALL EROSION. SILT FENCE SHOULD BE WIRE REINFORCED. SEE WWW.GASWCC.GEORGIA.GOV FOR MORE DETAILS

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

Sd1-S SILT FENCE, TYPE-S



- CULVERT UNDER ENTRANCE (IF NEEDED)
- DIVERSION RIDGE (SEE NOTE 6)
- N.S.A. R-2 (1.5"-3.5") COARSE AGGREGATE
- GEOTEXTILE UNDERLINER
- TIRE WASHRACK AREA/ TIRE WASHERS
- SUPPLY WATER TO WASH WHEELS IF NECESSARY
- COARSE AGGREGATE (N.S.A. R-2)
- ORIGINAL GRADE
- GEOTEXTILE UNDERLINER

- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%..
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Co CRUSHED STONE CONSTRUCTION EXIT

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CHECKED BY:	EBU

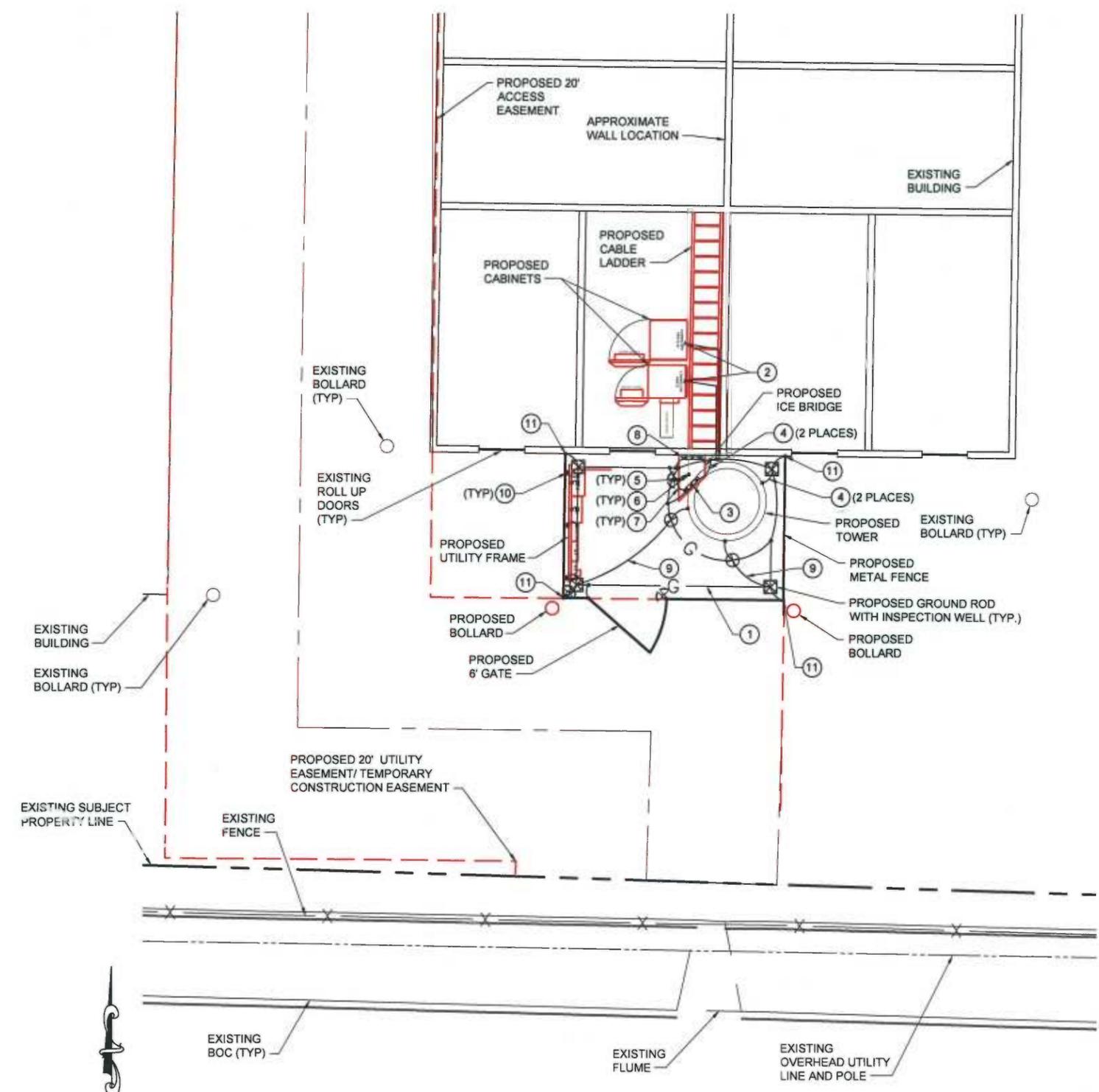
REVISIONS		
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
D	06/06/17	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:	COTTESFORD
TOWER OWNER / SITE NUMBER:	VERIZON
DESIGN TYPE:	GREENFIELD

SHEET TITLE: GROUNDING SITE PLAN	
DRAWING NO. E-4	REVISION NO. 0

SEE GENERAL GROUNDING NOTES ON E-1

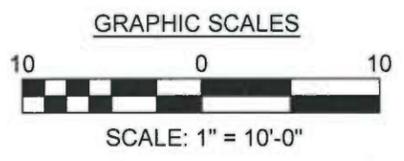


CODED DRAWING NOTES:

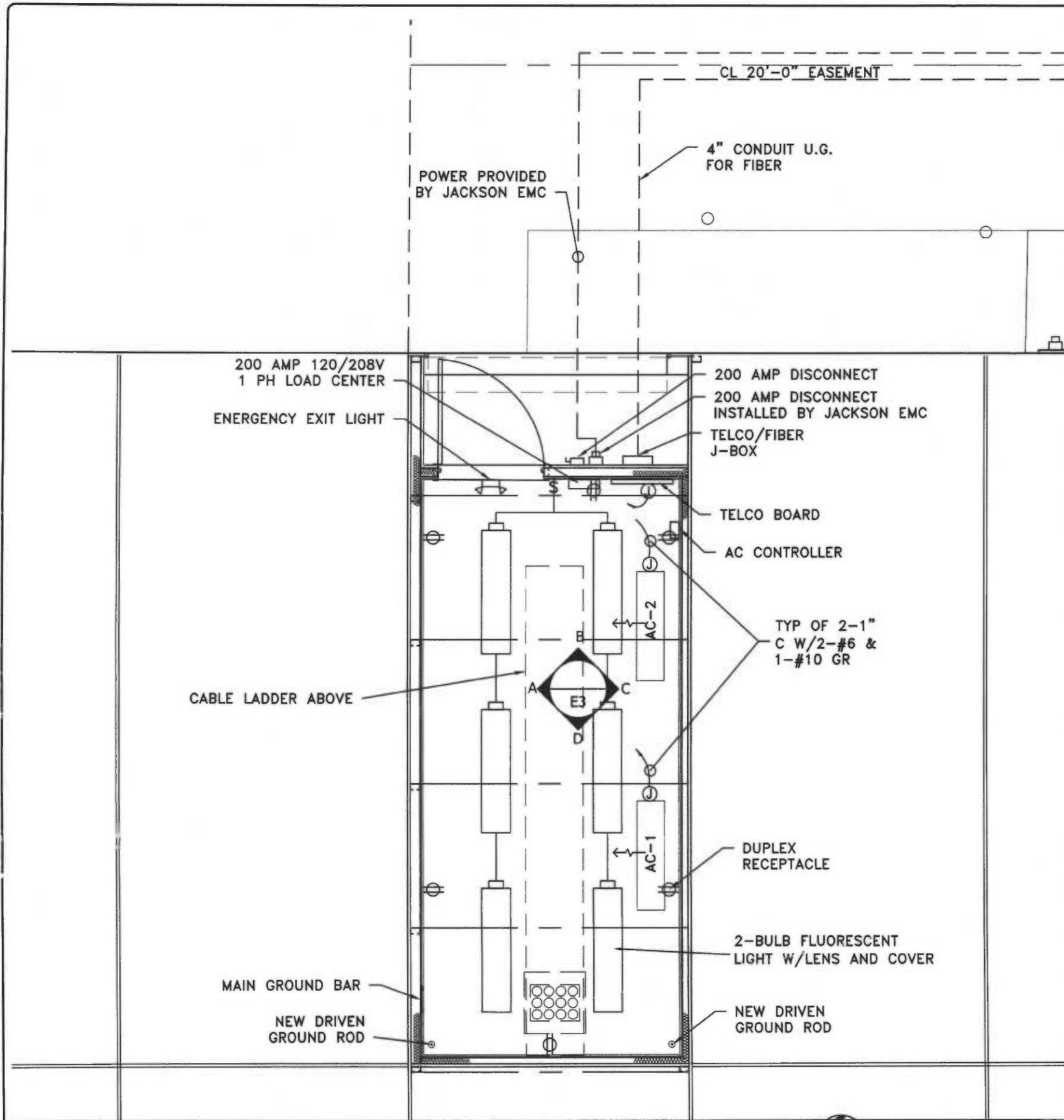
1. PROVIDE #2 COPPER GROUND RING BURIED AT MINIMUM 30" BELOW GRADE.
2. BOND EACH CABINET TO GROUND RING IN 2 PLACES.
3. BOND CABLE GROUND KIT TO TOWER GROUND BAR.
4. BOND TOWER GROUND BAR TO GROUND RING.
5. BOND EVERY ICE BRIDGE POST TO GRIP STRUT. (TYP.)
6. BOND FIRST AND LAST ICE BRIDGE POST TO GRIP STRUT. (TYP.)
7. CONNECT ICE BRIDGE SECTIONS WITH JUMPERS. (TYP.)
8. BOND CABLE GROUND KIT TO CABINET GROUND BAR AND GROUND RING.
9. BOND TOWER TO COMPOUND GROUND RING (TYP.)
10. BOND UTILITY H-FRAME, FIBER BOX AND ATS TO GROUND RING.
11. BOND EACH FENCE/GATE POST TO GROUND RING.
12. BOND TOWER TO TOWER GROUND RING TYPICAL AT EACH LEG (3 PLACES)

ABBREVIATIONS

- | | | | |
|---|-----------------------------------|-----|-----------------------------|
| ○ | GROUND CONNECTION | ■ | CADWELD TYPE CONNECTION |
| ⊖ | CHEMICAL GROUND ROD | • | COMPRESSION TYPE CONNECTION |
| ⊗ | GROUND ROD | —G— | GROUND WIRE |
| ⊗ | GROUND ROD WITH INSPECTION SLEEVE | | |



GROUNDING SITE PLAN
 SCALE: 1" = 10'-0"



ELECTRICAL NOTES:

- 1.) CONDUIT TO BE EMT OR RIGID UNLESS NOTED. MIN. SIZE OF CONDUIT AND FITTINGS ARE 1/2 INCH. LAYOUT LOCATIONS ARE FOR REFERENCE ONLY AND MAY VARY UNLESS OTHERWISE NOTED. DO NOT MOUNT CONDUIT TO CABLE TRAY. MOUNT CONDUIT TO WALLS OR TO CEILING PANELS.
- 2.) RECTIFIER DROPS: RECTIFIER #1 THRU #8 DROP - COIL 8 FEET OF 1 INCH LIQUID TIGHT FLEX CONDUIT WITH 5 FT OF WIRE EXTENDING OUT OF CONDUIT. 4 SETS OF #8 CONDUCTORS W/#12 GROUNDS. IN EACH CONDUIT.
- 3.) PROVIDE BOTH STRAIGHT AND ELBOW COUPLINGS AT EACH 1" CONDUIT. ALARM WIRING WILL BE INSTALLED IN CONDUIT FROM THE ORIGINATING DEVICE TO THE TELCO PUNCH DOWN BOARD. THE FOLLOWING ALARMS SHALL BE INSTALLED: 1.) HI TEMP, 2) LOW TEMP, 3) AC POWER FAIL.
- 4.) SURGE ARRESTOR, FIRE ALARM, OPEN DOOR, HVAC-1, FAIL, HVAC-2, FAIL ALARM WIRING SHALL BE 24 GAUGE SOLID AND EACH ALARM WILL BE PROVIDED BY A SET OF FORM 'C' CONTACTS.
- 5.) ALL CONDUCTORS FOR POWER AND GROUNDING TO BE COPPER WITH THHN INSULATION.
- 6.) RF CABLE SUPPORT (CABLE TRAY) SHALL BE MANUFACTURED BY PW SOUTHERN.
- 7.) RECTIFIER J-BOX 12X12X6 MOUNTED TO CEILING W/2-1" C HR'S TO PANEL W/8-#10 AND 1-#10 GROUND IN EACH 2-3/4" SEALTITE DROPS
- 8.) HVAC CONTROL POWER IS ROUTED THROUGH A RELAY CONTACT PROVIDED WITH FIRE ALARM SYSTEM. THIS WILL SHUT HVAC UNITS OFF IN EVENT OF FIRE.
- 9.) WP DUPLEX RECEPTICAL TO BE PROVIDED AT NEW ROOF PLATFORM FOR CONDENSING UNITS

ELECTRICAL SYMBOLS LEGEND

- LITHONIA LB240 A 2-BULB FLUORESCENT LIGHT W/LENS & COVER
- EMERG. EXIT LTG. FIXT. - WALL MTD. W/ BAT. PACK
- TOGGLE SWITCH
- DUPLEX RECEPTACLE
- WP GROUND FAULT INTERRUPTING RECEPTACLE
- JUNCTION BOX
- DISCONNECT SWITCH
- PANELBOARD
- TELEPHONE BACKBOARD- WHERE LOCATED
- GFI RECEPTACLE
- GROUND CONNECTION AS NOTED
- WP WEATHERPROOF
- AFF ABOVE FINISHED FLOOR
- 6X6X4 J-BOX RELAY
- SMOKE DETECTOR

1 PROPOSED UTILITY LAYOUT
E-6 SCALE: 1/4"=1'-0"



PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

A&E FIRM:
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1875 OLD ALABAMA ROAD, SUITE 1008
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A&E PROJECT #:	--
DRAWN BY:	JBE
CHECKED BY:	EBU

REVISIONS		
NO	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COTTESFORD

TOWER OWNER / SITE NUMBER:
VERIZON

DESIGN TYPE:
GREENFIELD

SHEET TITLE:
GROUNDING DETAILS

DRAWING NO. E-6	REVISION NO. 0
---------------------------	--------------------------

Exhibit D

**PROPOSED LEASE AREA #1
VERIZON WIRELESS
“COTTESFORD”**

All that tract or parcel of land lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described as follows:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 37.02 feet to a point; thence, North 00°33'13" East, 10.00 feet to a point and the true POINT OF BEGINNING; Thence running, North 89°26'47" West, 17.00 feet to a point; Thence, North 00°33'13" East, 11.00 feet to a point; Thence, South 89°26'47" East, 17.00 feet to a point; Thence, South 00°33'13" West, 11.00 feet to a point and the POINT OF BEGINNING.

Said tract contains 0.004 acres (187 square feet), more or less, as shown in a survey prepared Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

**PROPOSED LEASE AREA #2
VERIZON WIRELESS
“COTTESFORD”**

All that tract or parcel of land lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described as follows:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 37.02 feet to a point; thence, North 00°33'13" East, 10.00 feet to a point; thence, North 89°26'47" West, 17.00 feet to a point; thence, North 00°33'13" East, 11.00 feet to a point; thence, South 89°26'47" East, 2.00 feet to a point and the true POINT OF BEGINNING; Thence running, North 00°33'13" East, 18.00 feet to a point; Thence, South 89°26'47" East, 10.50 feet to a point; Thence, South 00°33'13" West, 18.00 feet to a point; Thence, North 89°26'47" West, 10.50 feet to a point and the POINT OF BEGINNING.

Said tract contains 0.004 acres (189 square feet), more or less, as shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC. dated December 7, 2015 and last revised January 30, 2017.

**PROPOSED 20' INGRESS-EGRESS EASEMENT
VERIZON WIRELESS
"COTTESFORD"**

Together with a proposed 20-foot ingress-egress easement lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described by the following centerline data:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point and the true POINT OF BEGINNING; Thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; Thence, South 00°24'11" West, 233.60 feet to a point; Thence, South 89°26'47" East, 37.02 feet to the ENDING at a point.

As shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

**PROPOSED 20' UTILITY/TEMPORARY CONSTRUCTION EASEMENT
VERIZON WIRELESS
"COTTESFORD"**

Together with a proposed 20-foot utility/temporary construction easement lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described by the following centerline data:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 27.02 feet to a point and the true POINT OF BEGINNING; Thence running, South 00°33'13" West, 11.42 feet to the ENDING at a point on Hawthorne Avenue (having a 40-foot right-of-way).

As shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

Exhibit E

June 12, 2017

Raven Madison
TOWERSOURCE, INC.
1875 Old Alabama Road, Suite 1008
Roswell, GA 30076

RE: Proposed 130 ft Sabre monopole and foundations for Cottesford, GA

Dear Raven Madison,

Upon receipt of order, we propose to design and supply a 130' monopole and foundations for the above referenced site. The monopole and foundations will be designed for 89 mph (115 mph Vult) without ice and 30 mph with 3/4" ice, Structure Class II, Exposure Category C and Topographic Category 1, in accordance with ANSI/TIA/EIA 222-G, to support the following:

- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 130', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 120', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 110', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 100', with twelve (12) 1-5/8" lines;
- 10' Lightning Rod

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. **Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles.** The fall radius for the monopole design described above is less than 29.5 feet.

If you have any questions, please contact the undersigned.

Sincerely,

Amy R. Herbst, P.E.
Senior Design Engineer



Exhibit F



June 7, 2017

Mr. Ken Suddreth
Community Development Director
City of Smyrna
3180 Atlanta Road SE
Smyrna, GA 30080

Verizon Wireless
10300 Old Alabama Connector Road
Alpharetta, GA 30022-1117

RE: Application for Special Land Use Permit and Variance Application to allow for a 140-foot Telecommunications Facility to be located at 1700 Roswell Street, City of Smyrna, Georgia.

Dear Mr. Suddreth,

The primary need for the proposed telecommunications facility site is to improve 4G coverage and data throughput for Verizon customers along Hawthorn Street, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road. The proposed site is also needed as a capacity site to provide relief to existing Verizon sites, particularly the Promenade site located at 2400 Cobb Parkway. The existing Promenade site requires more capacity than it is capable of delivering at present time. When an existing site requires more capacity a new point of service is required. The attached Propagation Maps demonstrate the capacity relief the proposed site will provide to the Promenade site. The proposed location of the new site is critical to the effectiveness of the capacity offload. As shown on the Propagation Maps, the high traffic areas of Hawthorne Street, Roswell Street and Matthews Street are positively impacted by the proposed site.

The search area for this project is centered near Roswell Street and Hawthorne Street with an approximate radius of .5 miles. Verizon Wireless has made every reasonable attempt to utilize existing structures to meet the network design goals. Upon thorough examination of the service area, Verizon Wireless did not identify any existing towers located within the search area suitable for collocation. The closest existing tower is located just outside the radius of the search area and is owned by American Tower Corporation (ATC). The ATC tower is too close to Verizon's existing Hickory Hill site and would simply overlap coverage already provided by that site. Moreover, collocation on the ATC tower would not provide optimal coverage along the residential areas between Windy Hill Road and Spring Road.

The proposed tower height of 140 feet - with an antenna centerline of 130 feet - is the minimum height required to properly provide the necessary capacity and coverage improvements set forth above. In addition, the proposed tower height will enhance customer experience near the Promenade site by providing improved coverage and data speeds to thoroughfares in the surrounding area. The tower height as proposed is imperative to allow adequate contiguous in-car and in-building coverage for residents, businesses and commuters along Hawthorn Street, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road.

Based on the proposed height of the tower a 30-foot setback to Hawthorne Avenue is required. The proposed tower is located 29.5 feet from Hawthorne Avenue and thus a small variance of .5 feet is requested. The existing site is the only location on the property that allows enough room for the tower installation and still provides access for emergency vehicles to move around the compound.

For the above mentioned reasons the Verizon Wireless Network Team respectfully requests approval of the Special Land Use Permit and Variance Application to allow for the proposed 140-foot telecommunications facility, which will enable Verizon Wireless to continue to provide the most reliable wireless network to the citizens of the City of Smyrna.

Thank you for your thoughtful consideration of this request.

Sincerely,

A handwritten signature in black ink, appearing to be 'Chan Su', written in a cursive style.

Chan Su
RF Design Engineer
Verizon Wireless- GA/AL Region.

Exhibit G

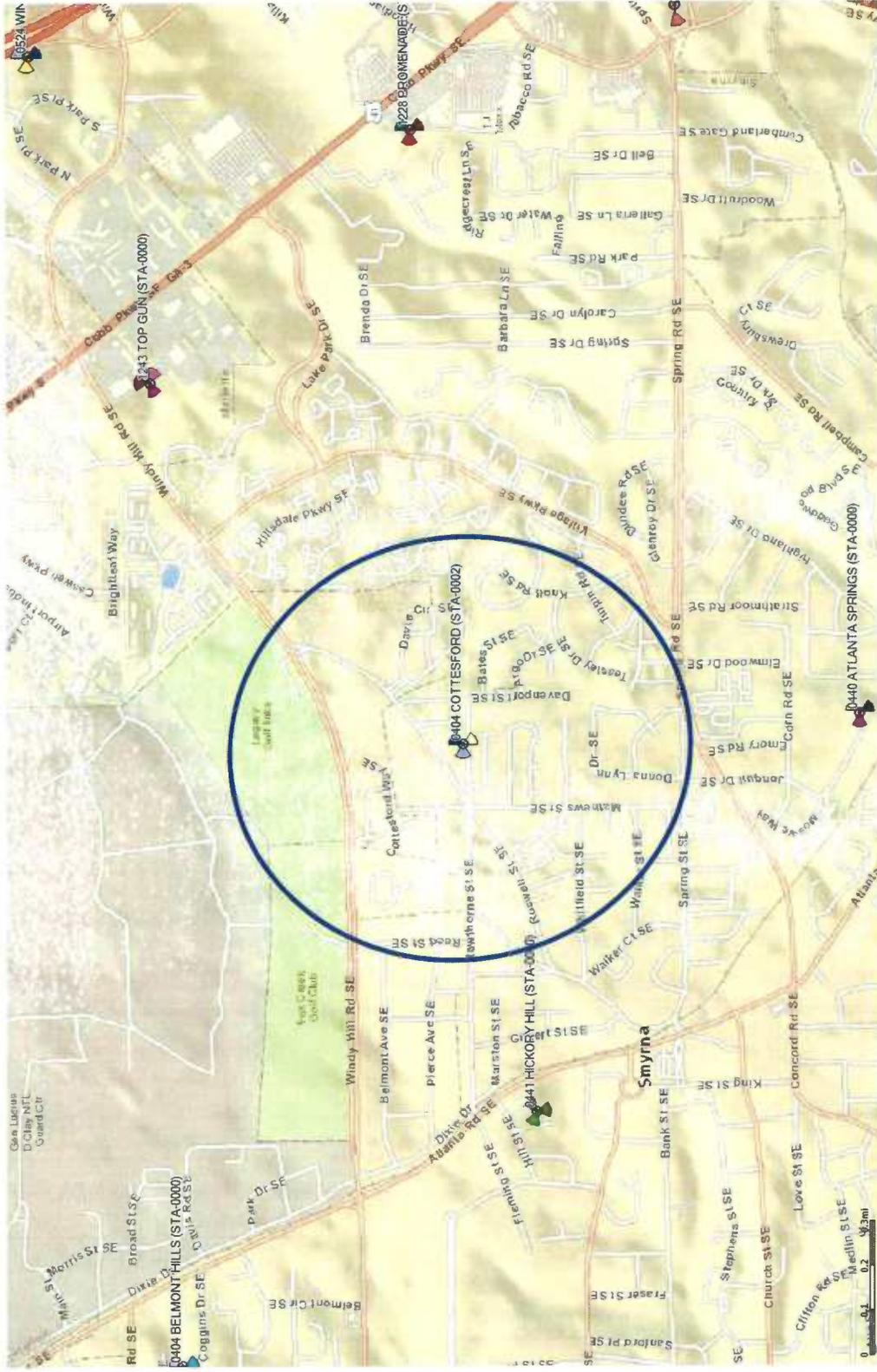
Cell Site Justification for
Cottesford

by **Sri Hari Krishna Nimmagadda**
Radio Frequency Engineer
Verizon Wireless
June 23rd , 2017

Design Objectives for Cottesford Site

- The proposed Cottesford site is designed as a coverage site to improve 4G coverage and data throughput for Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE.
- Cottesford site is also designed as a capacity site to provide capacity relief to gamma sector of existing Verizon site, Promenade(1.4 miles East).

Intended Coverage area – Proposed Cottesford Site

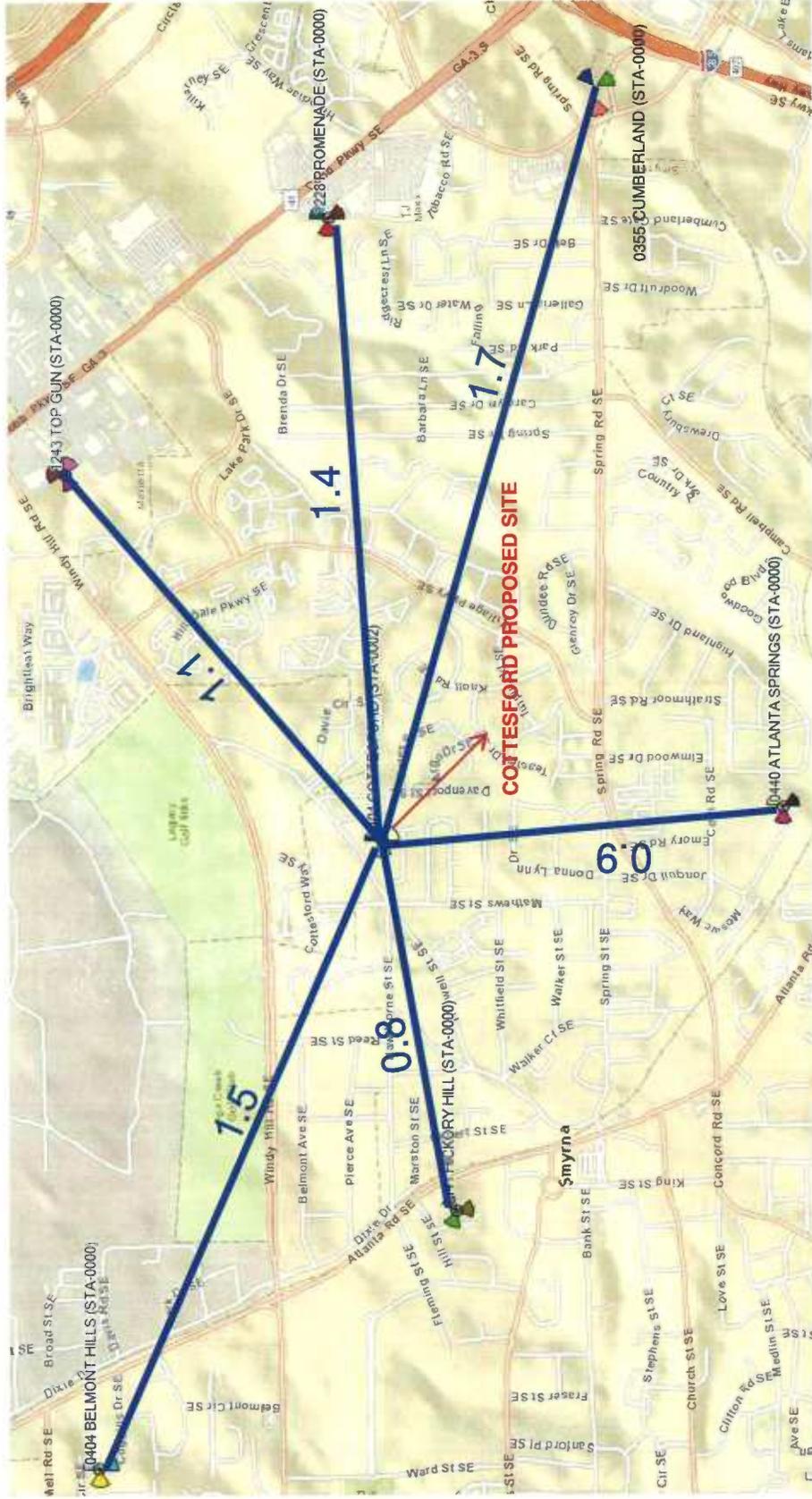


As shown in the above blue circle, the proposed Cottesford site is designed as a coverage site to improve 4G coverage and data throughput for Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE.

Sites within the vicinity of proposed Cottesford site

Site Name	Antenna Height(ft)	Structure Type	Latitude	Longitude	Address	Status
Belmont Hills	180	Monopole	33-54-0.74 N	84-31-36.3 W	2190 Atlanta Road, Smyrna, GA, 30080	Existing
Hickory Hill	130	Monopole	33-53-19 N	84-31-02 W	2646 Atlanta Road Southeast, Smyrna, GA, 30080	Existing
Cottesford	130	Tower(proposed)	33-53-26.41 N	84-30-10.22 W	1700 Roswell Street, Smyrna, GA, 30080	Proposed
Top Gun	75	Monopole	33-54-1.59 N	84-29-18.57 W	2080 Cobb Parkway S., Marietta, GA, 30080	Existing
Promenade	170	Guyed Tower	33-53-30.60 N	84-28-44.00 W	2400 Cobb Parkway, Smyrna, GA, 30080	Existing
Cumberland	70	Building with Tower/Antenna on top	33-52-59.45 N	84-28-27.58 W	2855 Springhill Pkwy, Atlanta, GA, 30339	Existing
Atlanta Springs	145	Monopole	33-52-40.23 N	84-30-7.33 W	3075 Jonquil Drive, Smyrna, GA, 30080	Existing

Distances (miles) to Existing Sites from Cottesford Proposed Site

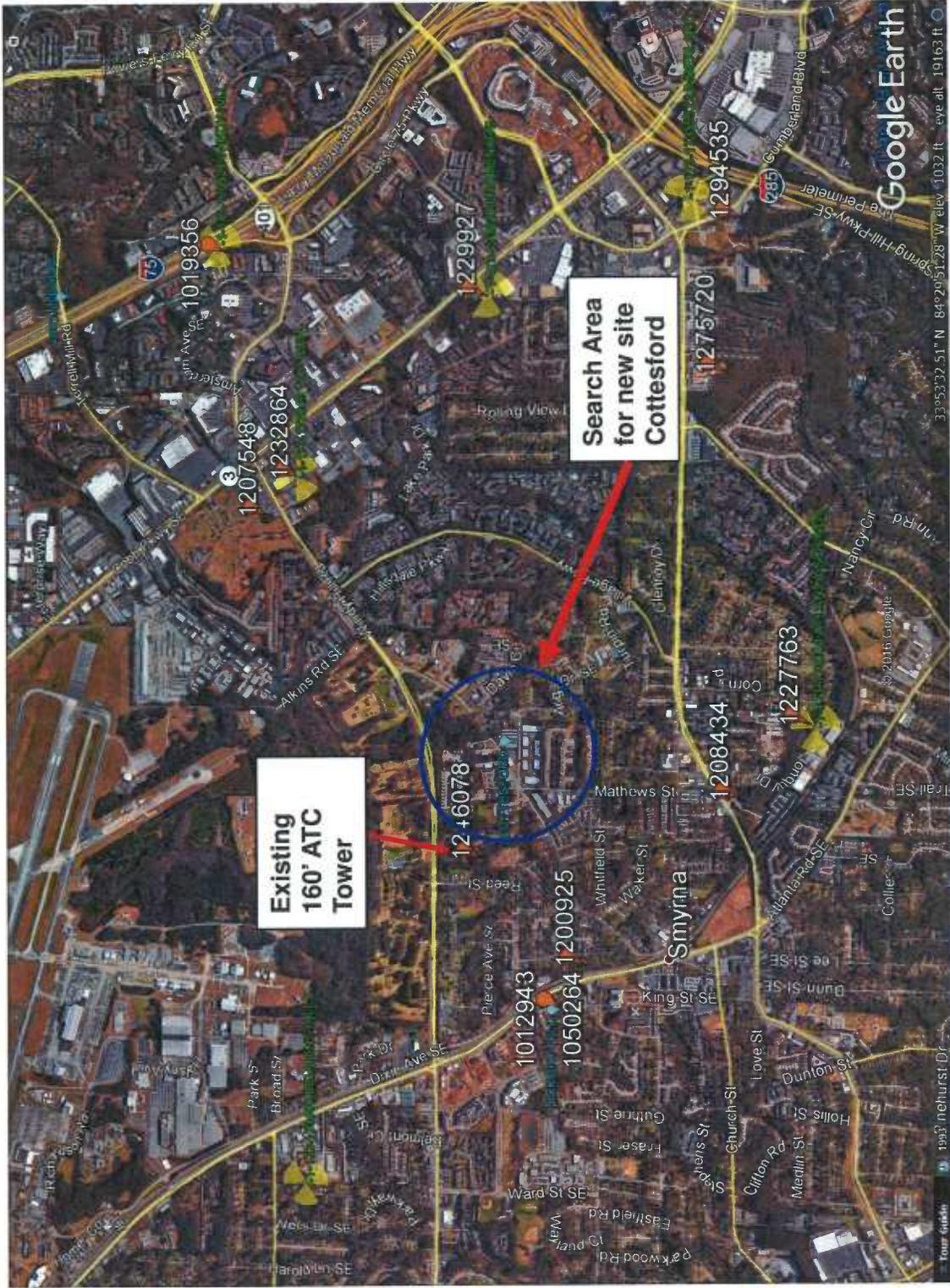


Existing Towers in the area

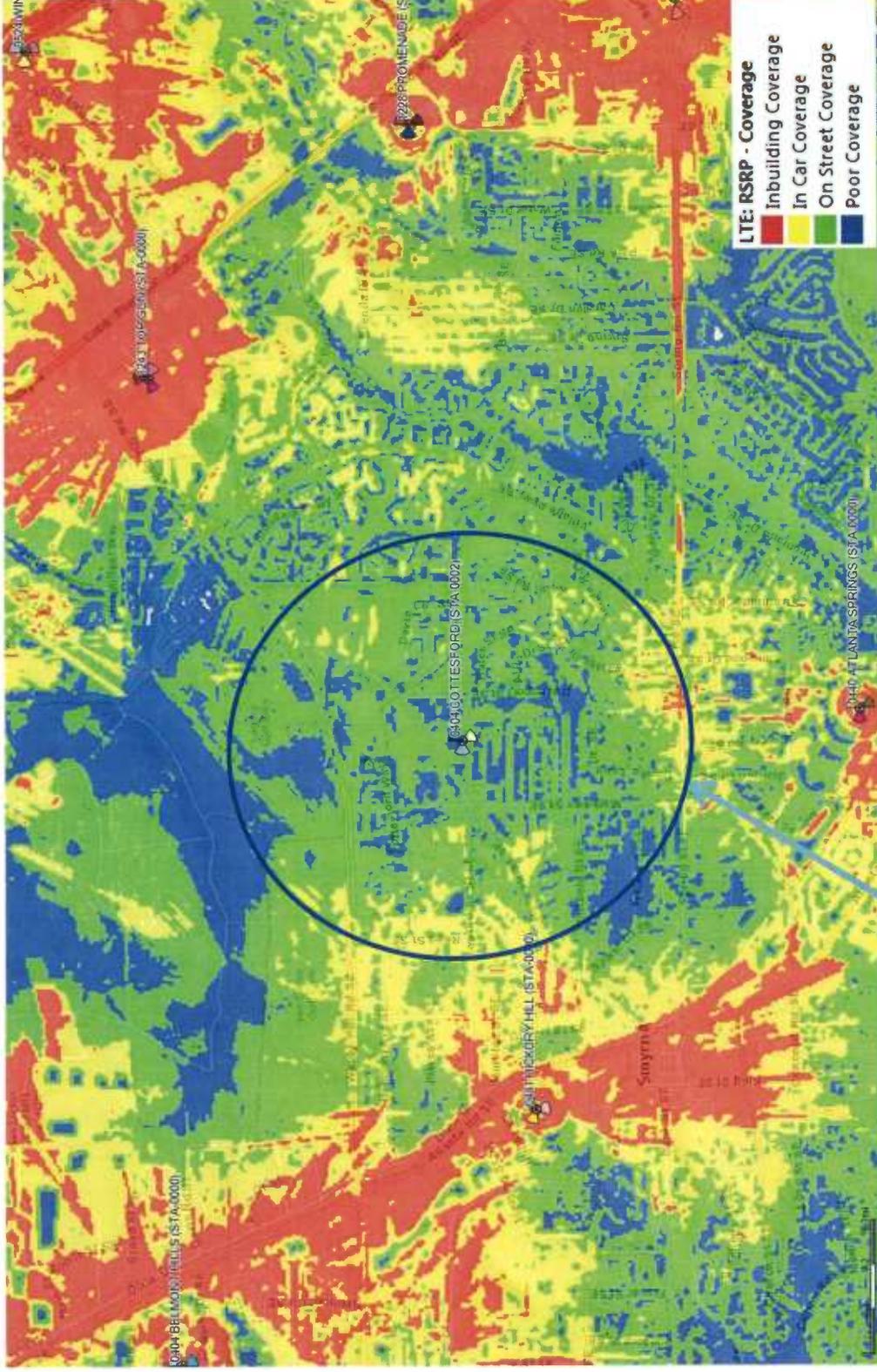
Structure Registration #	Structure	Comments
1246078	ATC	approximately 0.5 miles from search area.
1207548	CCI	next to existing on air VZW site TOP GUN.
1232864	SBA	VZW on air site TOP GUN on it.
1012943	POWERTEL	VZW on air HICKORY HILL on it.
1208434	CCI	Too close to VZW on air site ATLANTA SPRINGS(approximately 0.28 miles)
1227763	ATC	VZW on air site ATLANTA SPRINGS on it.
1229927	SBA	VZW on air site PROMENADE on it.
1275720	TMOBILE	Too close to VZW on air site CUMBERLAND(approximately 0.5 miles) and too far from search ring center(1.23 miles)

As shown in google earth snap shot in next slide(slide#8), 1246078(ATC) is the only location closer to search area for which coverage analysis was shown in slides(13-16). Coverage analysis is not necessary for all other locations as they are too far away from the search area, very close to existing Verizon sites or co-located with neighboring Verizon sites. As such coverage analysis is not necessary for other locations. Please check comments above for each individual location.

Google Earth Map – Proposed Cottesford Site Location and Existing Verizon Cell Sites

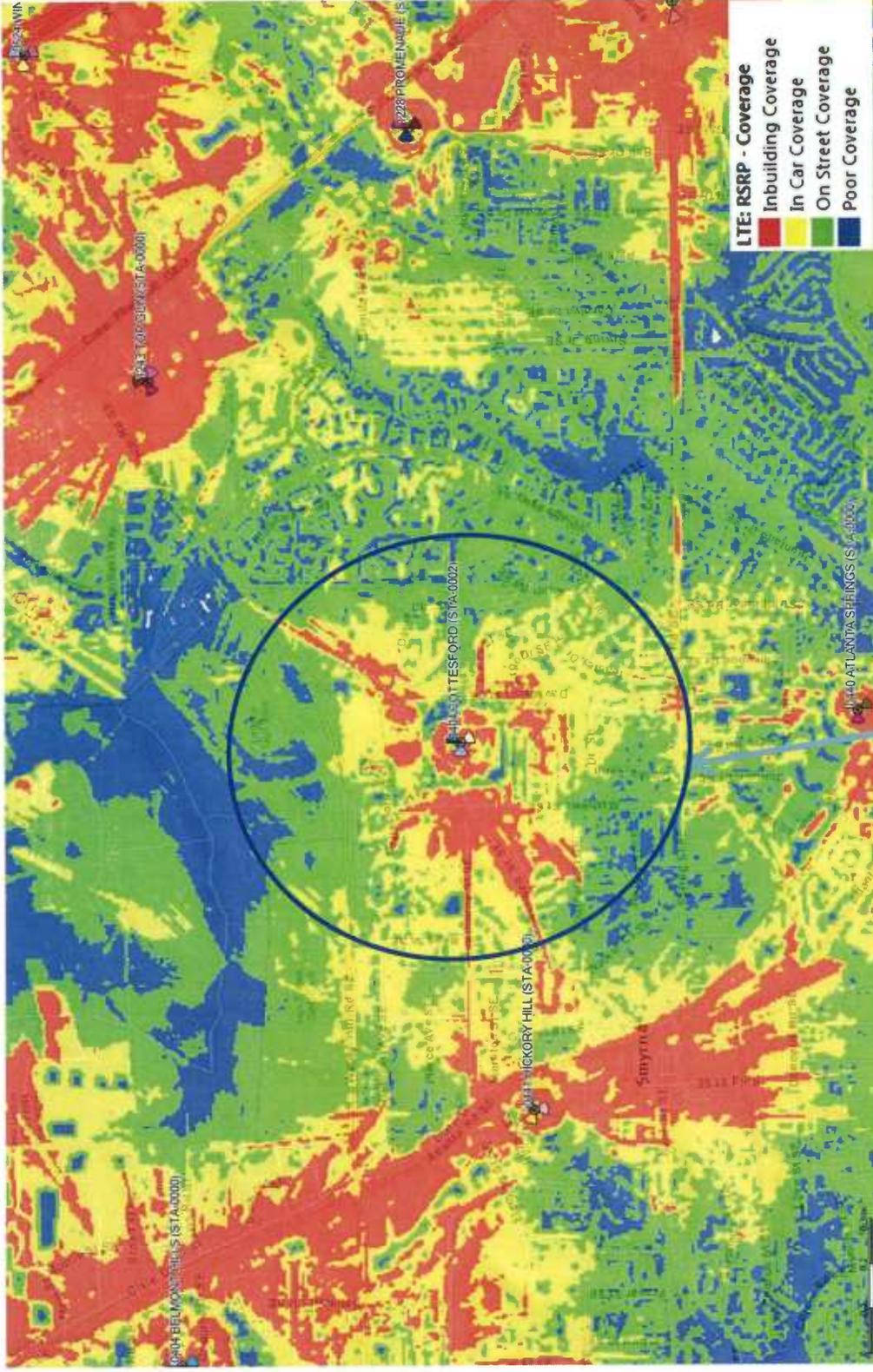


Current Verizon 4G LTE Signal Level (without the proposed Cottesford site)



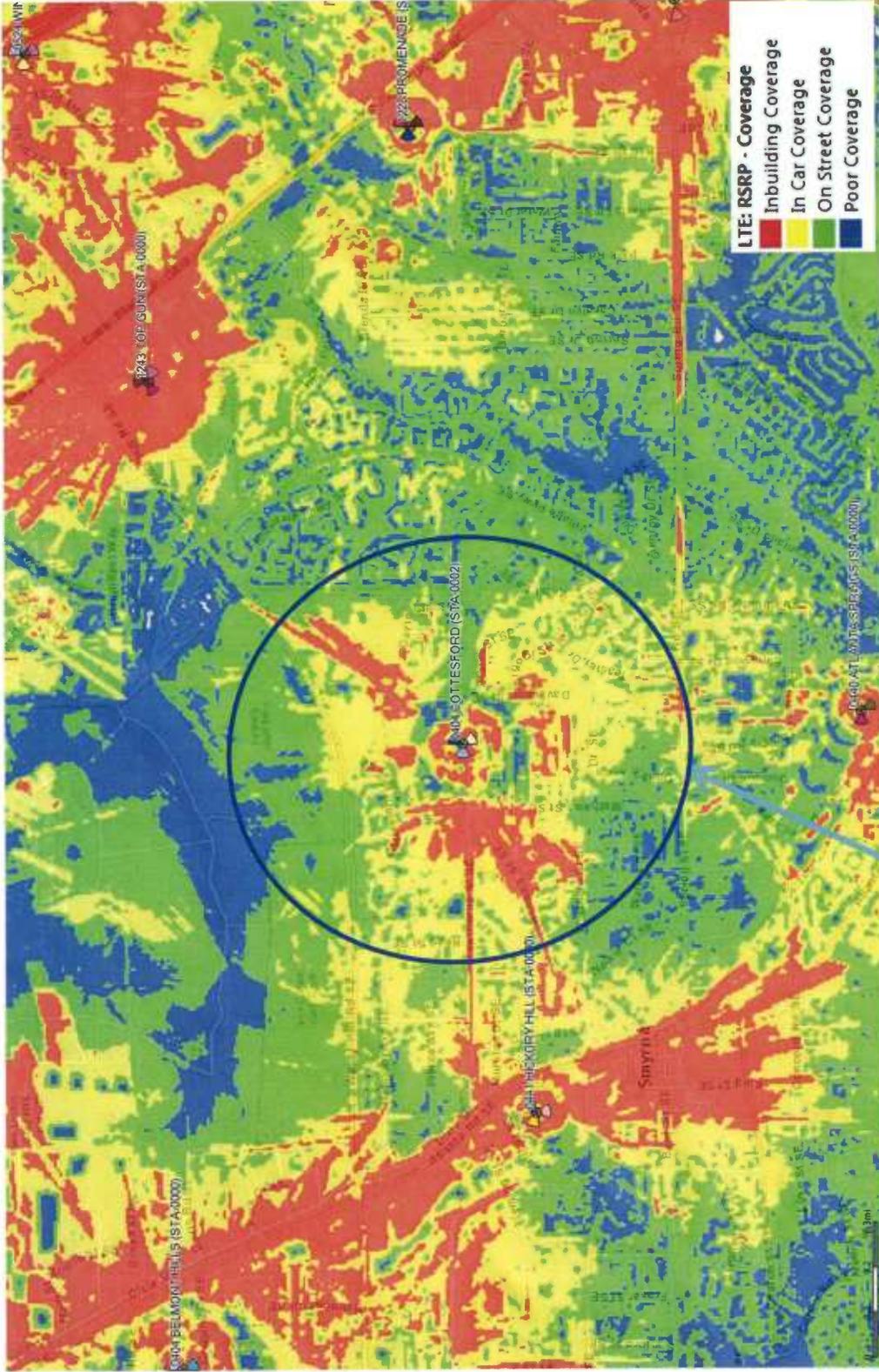
Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE experience weak coverage and slow data speeds. Blue Circle represents intended coverage improvement area.

Future Verizon 4G LTE Signal Level (with the proposed Cottesford site @ 110' Rad Center)



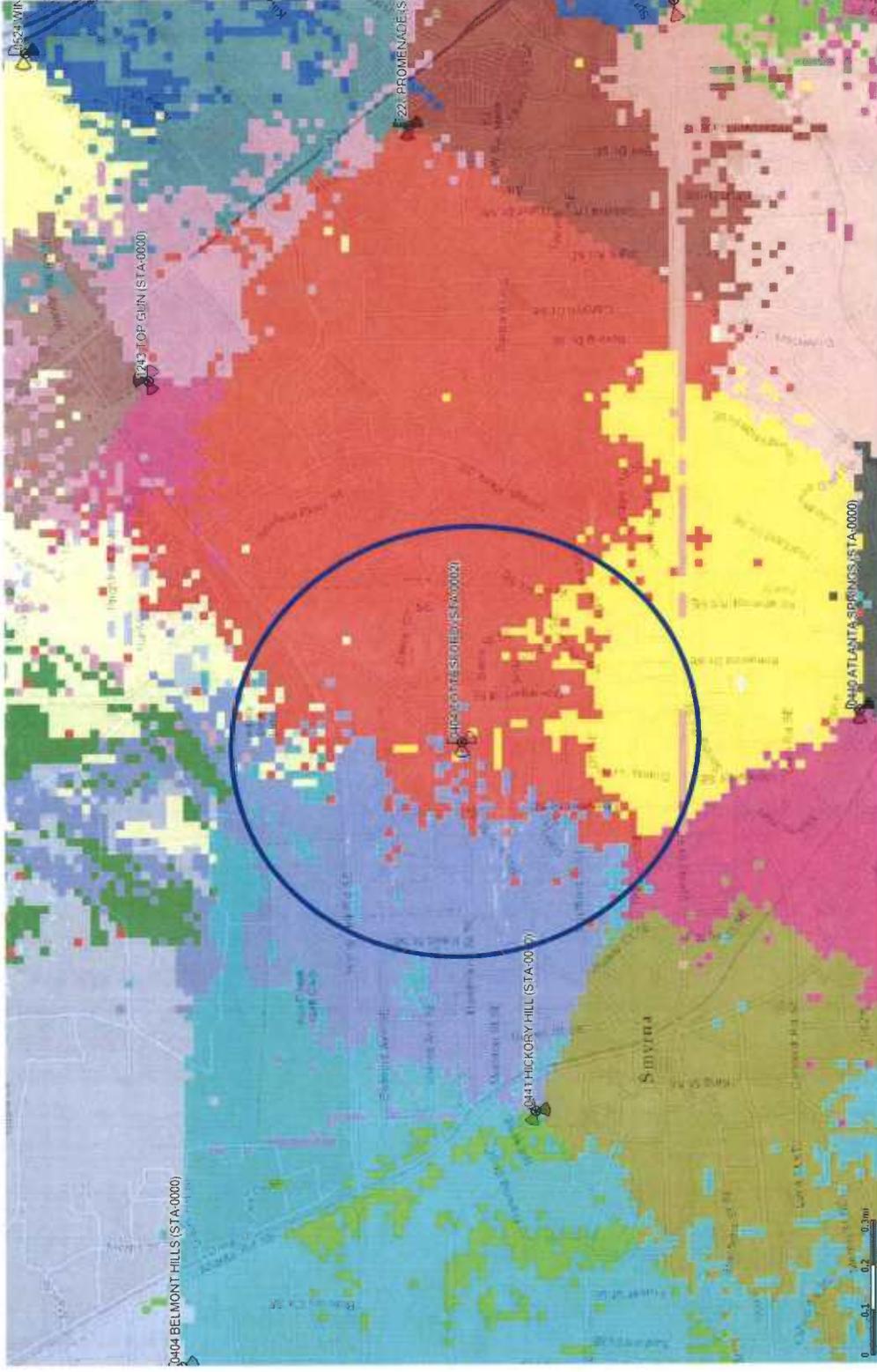
At 110' Rad Center, we can notice that the in Car and on Street coverages are not adequate with in the intended Coverage area (blue circle) in some areas and thus will result in weak coverage and slow data speeds for the residential areas and streets in these areas. Next slide at 130' shows improvement in car and on street coverages.

Future Verizon 4G LTE Signal Level (with the proposed Cottesford site @ 130' Rad Center)



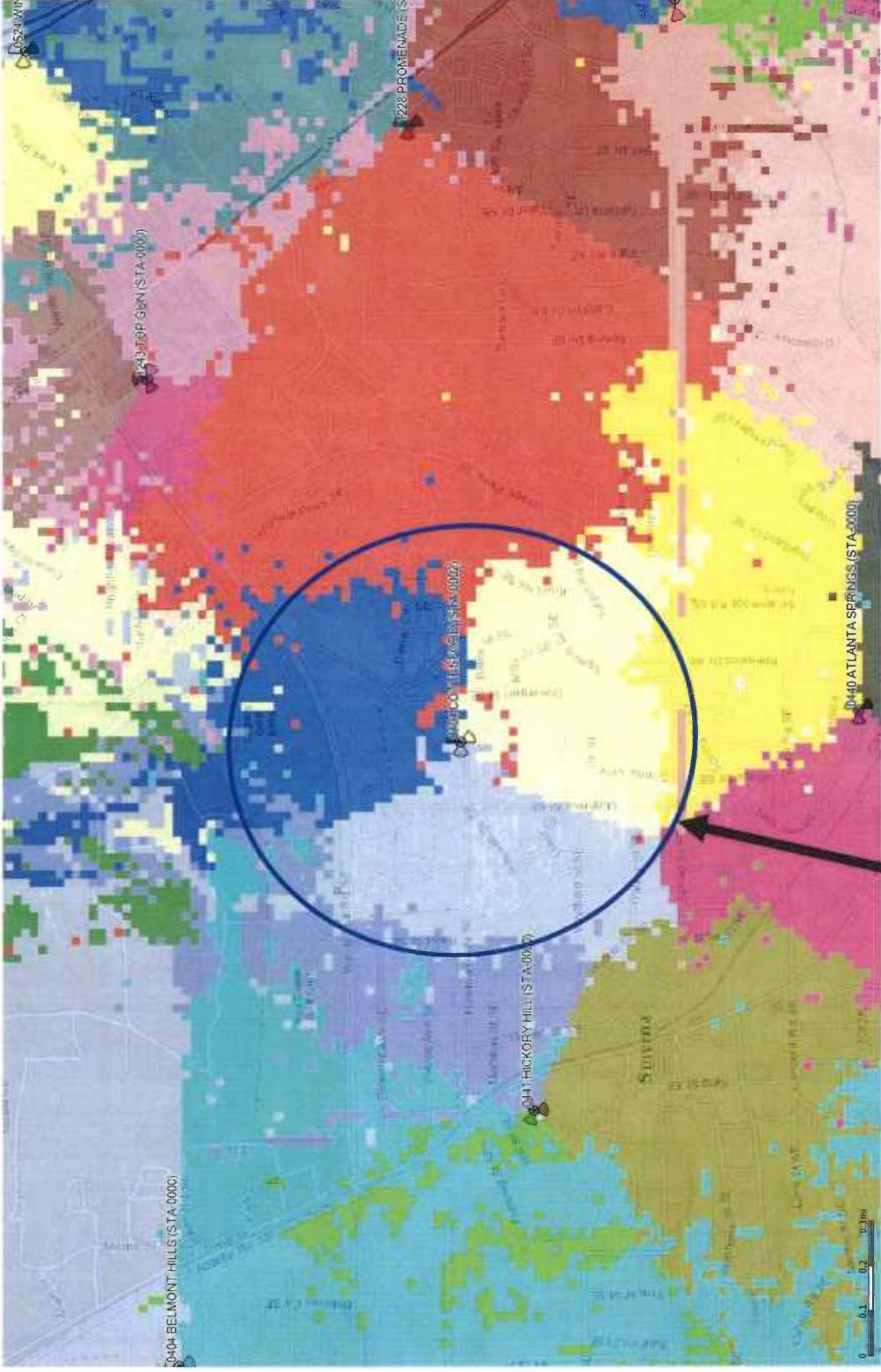
Cottesford Site @ 130' RC will be the minimum height to provide adequate in-car coverage and reasonable in building coverage and good street level coverage along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE.

Capacity off load to Promenade Gamma sector — Existing area covered in red(Cottesford site off)



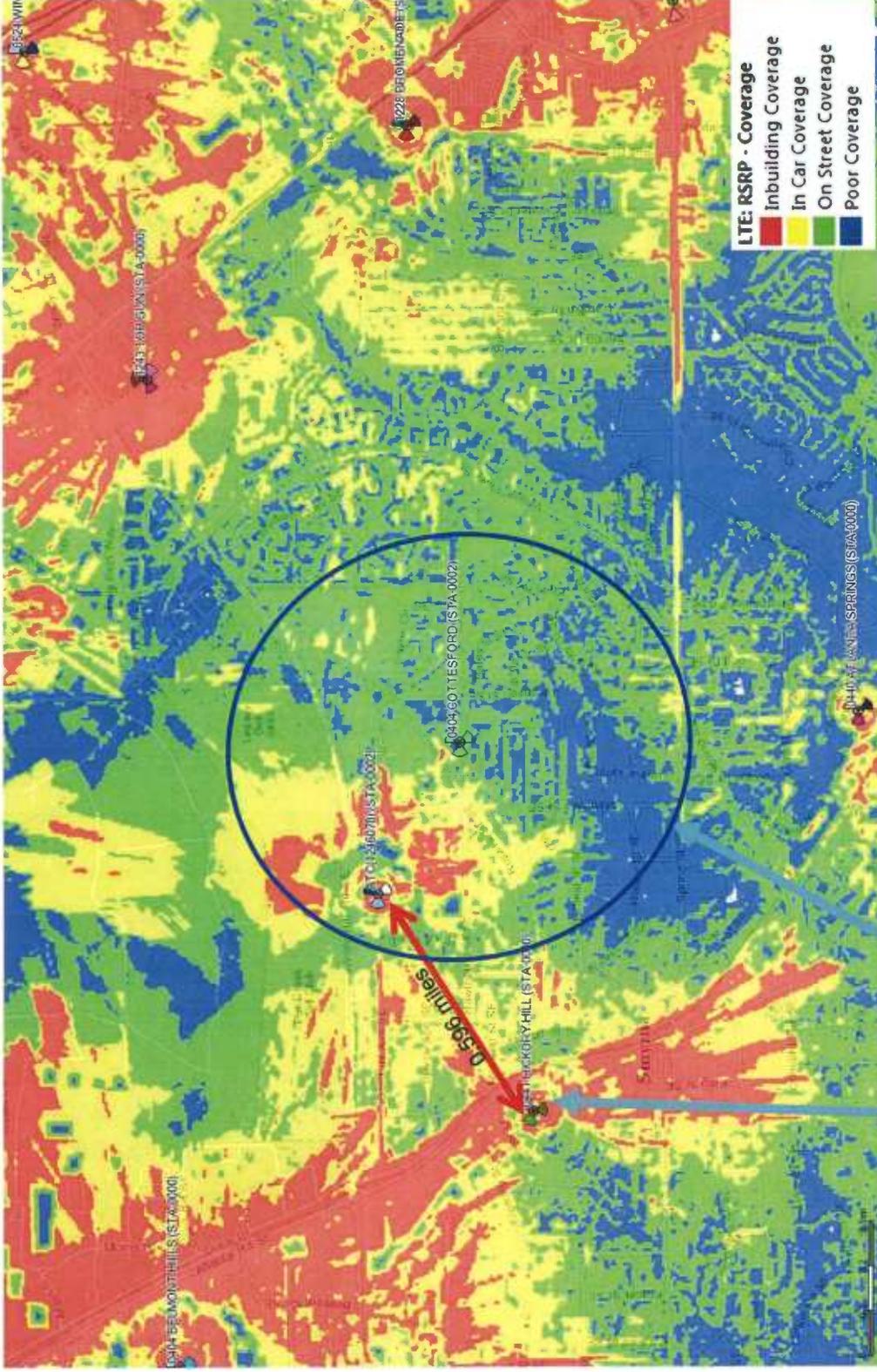
Currently, majority of the intended coverage area(blue circle) of proposed Cottesford site is covered by Gamma sector of Verizon site Promenade(Coverage in red).

Capacity off load to Promenade Gamma sector — Red pullback with proposed Cottesford site on



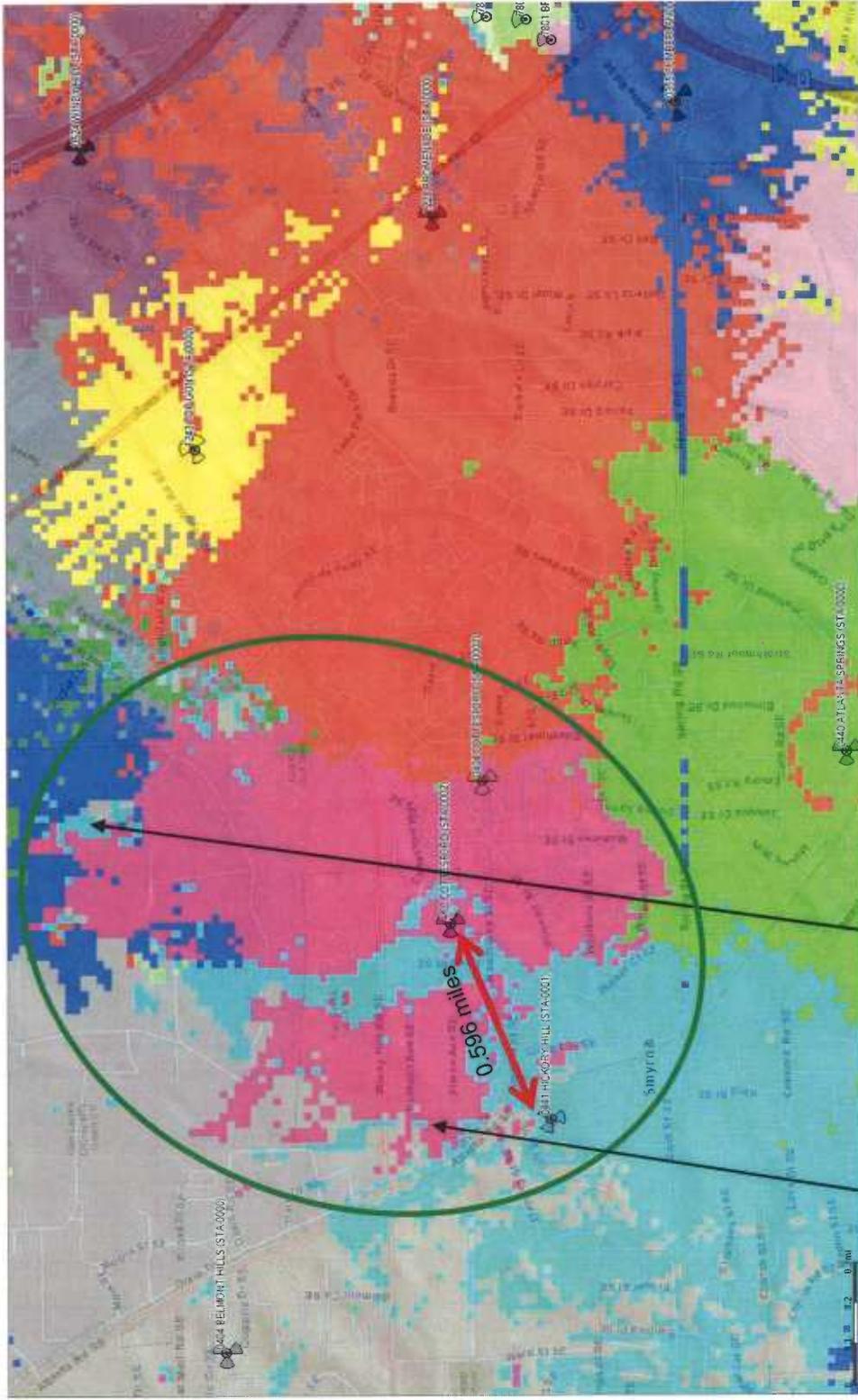
With the proposed Cottesford site on, we can see pull back in coverage (red) of promenade Gamma sector. Cottesford site will help in offloading decent amount of traffic from Gamma sector of Promenade (major capacity trigger) and other neighboring sites in the area.

Verizon 4G LTE Signal Level if Collocating on the ATC(1246078) tower @ 128' Rad Center



- ATC(1246078) at 128' AGL is too close(0.596 miles) to Hickory Hill(existing Verizon site) and a significant portion of intended coverage area(blue circle) doesn't show improvement in coverage(in building, in car & street level).

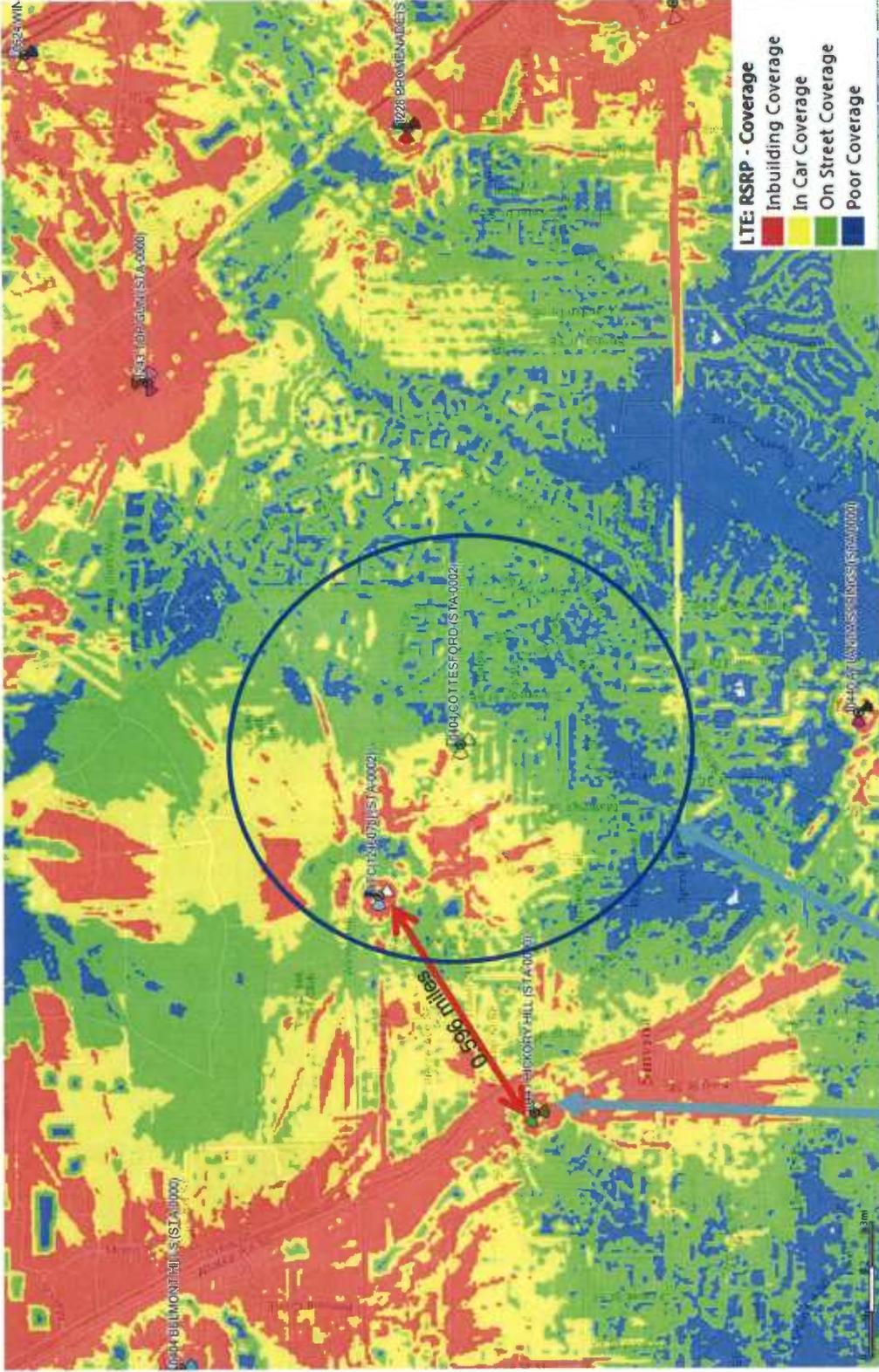
Interfering Service Footprints If Collocating on ATC(1246078) tower @ 128' Rad Center



ATC(1246078) tower @ 128' Rad Center doesn't provide much overlap with neighboring site Hickory Hill which will result in high interference.

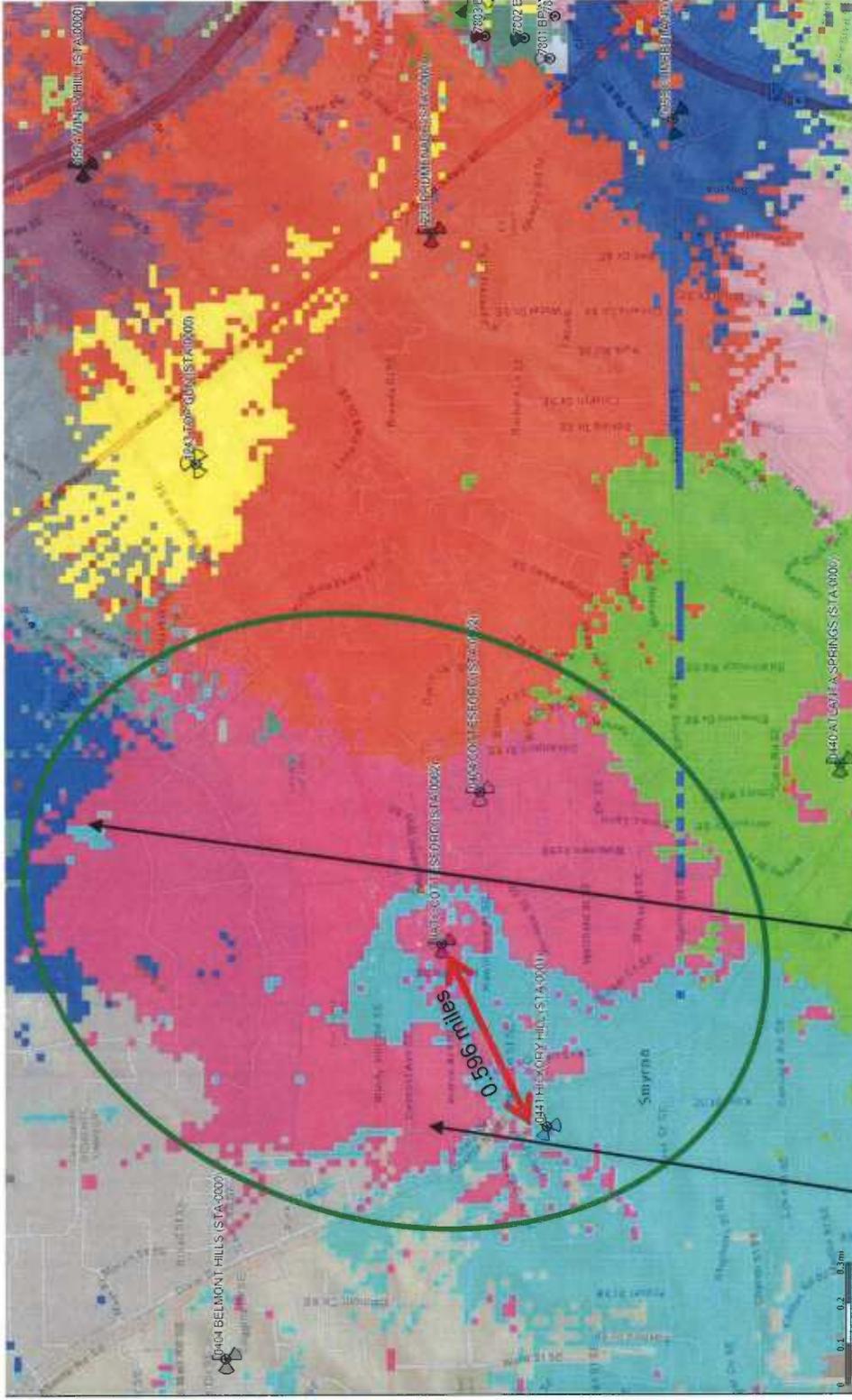
Note:- Hickory hill coverage in blue and ATC(1246078) coverage in pink

Verizon 4G LTE Signal Level if Collocating on the ATC(1246078) tower @ 170' Rad Center



- ATC(1246078) at 170' AGL is too close(0.596 miles) to Hickory Hill(existing Verizon site) and a significant portion of intended coverage area(blue circle) doesn't show improvement in coverage(in building, in car & street level).

Interfering Service Footprints If Collocating on ATC(1246078) tower @ 170' Rad Center



ATC(1246078) tower @ 170' Rad Center doesn't provide contained coverage and has too much overlap with neighboring site Hickory Hill which will result in high interference.

Note:- Hickory hill coverage in blue and ATC(1246078) coverage in pink

Cottesford Site Justification Summary

- Based in analysis shown in slides 9-17, we can infer the following.
- Cottesford site at 130' AGL provides controlled coverage across the target areas at optimal signal levels and with minimal interference to and from neighboring Verizon sites. This will also help in capacity offload from Gamma sector of neighboring Verizon site Promenade(1.4 miles East).
- ATC(Structure Registration # 1246078) at 128' AGL is too close(0.59 miles) to neighboring Verizon site, Hickory Hill and wouldn't provide optimal coverage along residential areas and streets between Windy Hill R SE and Spring Rd SE. Due to close proximity to Hickory Hill, it doesn't provide contained coverage and thus, it negatively impacts neighboring sites and is impacted negatively by neighbor sites.
- ATC(Structure Registration # 1246078) at 170' AGL is too close(0.59 miles) to neighboring Verizon site, Hickory Hill and wouldn't provide optimal coverage along residential areas between Windy Hill R SE and Spring Rd SE. Due to close proximity to Hickory Hill, it doesn't provide contained coverage and thus, it negatively impacts neighboring sites and is impacted negatively by neighbor sites.

Exhibit H



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Cottesford (ATL)

Aeronautical Study No.
 2017-ASO-3629-OE

Issued Date: 08/02/2017

Network Regulatory
 Verizon Wireless (VAW) LLC
 5055 North Point Pkwy
 NP2NE Network Engineering
 Alpharetta, GA 30022

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole Cottesford - A
 Location: Smyrna, GA
 Latitude: 33-53-26.41N NAD 83
 Longitude: 84-30-10.22W
 Heights: 1071 feet site elevation (SE)
 147 feet above ground level (AGL)
 1218 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 02/02/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 222-5933, or andrew.hollie@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2017-ASO-3629-OE.

Signature Control No: 322174239-339708889

(DNE)

Andrew Hollie
Specialist

Attachment(s)
Case Description
Frequency Data
Map(s)

cc: FCC

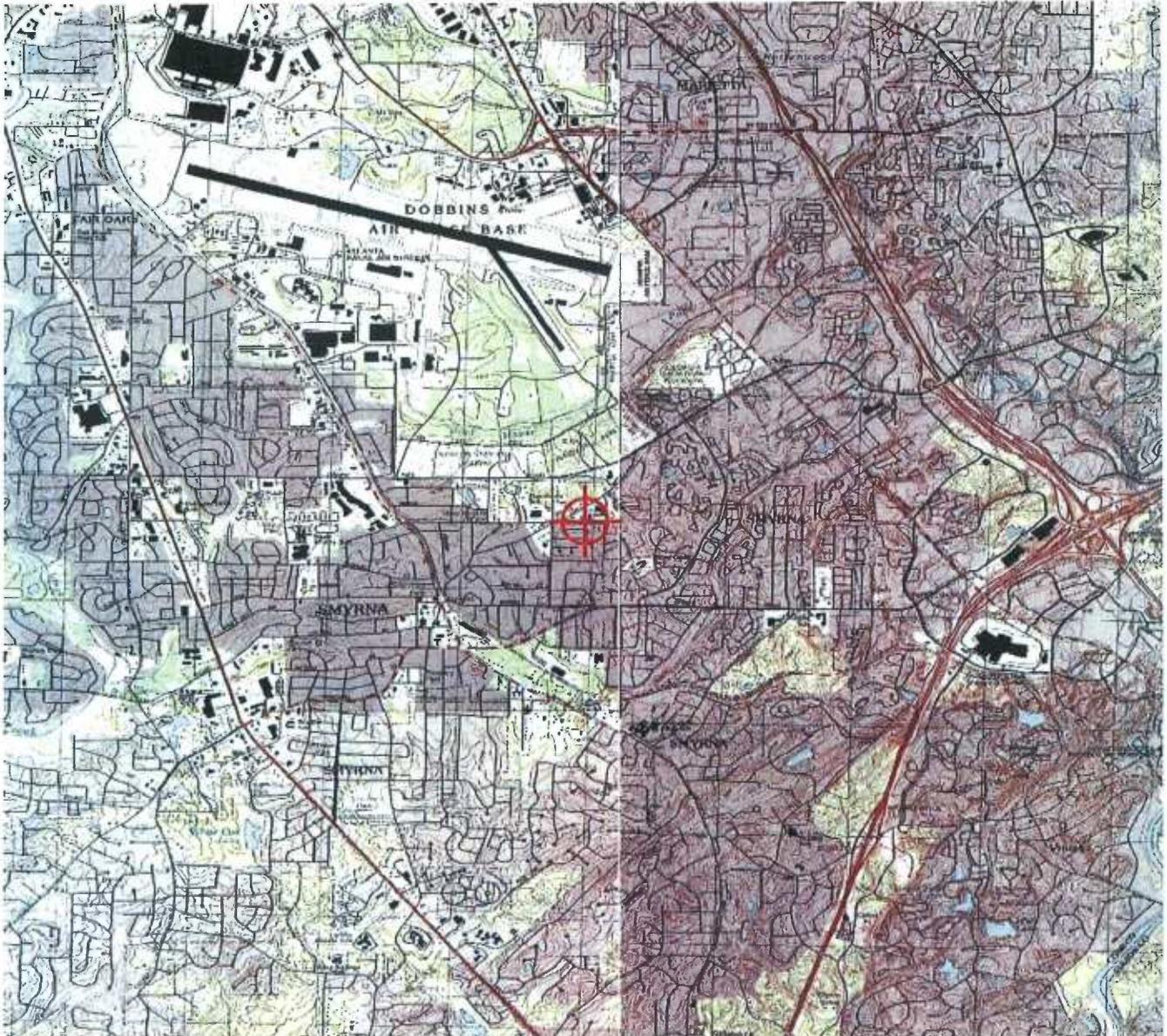
Case Description for ASN 2017-ASO-3629-OE

Proposed 150' monopole. If marking/lighting is required, dual/medium intensity is requested. For questions contact Vicki McCauley @ 908-306-7477.

Frequency Data for ASN 2017-ASO-3629-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

TOPO Map for ASN 2017-ASO-3629-OE





Circle Search for Cases Results Form 7460-1 for ASN 2017-ASO-3629-OE

Cottesford (ATL)

Overview		Received Date: 02/14/2017				
Study (ASN):	2017-ASO-3629-OE	Entered Date:	02/14/2017			
Prior Study:		Completion Date:	08/02/2017			
Status:	Determined	Expiration Date:	02/02/2019			
Letters:	Determination	Map:	View Map			
Supplemental Form 7460-2: Please login to add a Supplemental Form 7460-2.						
Sponsor Information		Sponsor's Representative Information				
Sponsor:	Verizon Wireless (VAW) LLC	Representative:				
Attention Of:	Network Regulatory	Attention Of:	Network Regulatory			
Address:	5055 North Point Pkwy	Address:	5055 North Point Pkwy			
Address2:	NP2NE Network Engineering	Address2:	NP2NE Network Engineering			
City:	Alpharetta	City:	Alpharetta			
State:	GA	State:	GA			
Postal Code:	30022	Postal Code:	30022			
Country:	US	Country:	US			
Phone:	770-797-1070	Phone:	770-797-1070			
Fax:		Fax:				
Construction Info		Structure Summary				
Notice Of:	CONSTR	Structure Type:	Monopole			
Duration:	PERM (Months: 0 Days: 0)	Structure Name:	Cottesford - A			
Work Schedule:		FCC Number:				
Date Built:						
Structure Details		Height and Elevation				
Latitude (NAD 83):	33° 53' 26.41" N		Proposed	DNE	DET	
Longitude (NAD 83):	84° 30' 10.22" W	Site Elevation:	1071			
Horizontal Datum:	NAD 83	Structure Height:	150	147	147	
Survey Accuracy:	1A	Total Height (AMSL):	1221	1218	1218	
Marking/Lighting:	None					
Other Description:		Frequencies				
Current Marking/Lighting:	N/A Proposed Structure	Low Freq	High Freq	Unit	ERP	Unit
Current Marking/Lighting Other Description:		698	806	MHz	1000	W
Name:		806	824	MHz	500	W
City:	Smyrna	824	849	MHz	500	W
State:	GA	851	866	MHz	500	W
Nearest County:	Cobb	869	894	MHz	500	W
Nearest Airport:	MGE	896	901	MHz	500	W
Distance to Structure:	9317.95 feet	901	902	MHz	7	W
On Airport:	No	930	931	MHz	3500	W
Direction to Structure:	158.28°	931	932	MHz	3500	W
Description of Location:	1700 Roswell Street SE	932	932.5	MHz	17	dBW
Description of Proposal:	Proposed 150' monopole. If marking/lighting is required, dual/medium intensity is requested. For questions contact Vicki McCauley @ 908-306-7477.	935	940	MHz	1000	W
		940	941	MHz	3500	W
		1850	1910	MHz	1640	W
		1930	1990	MHz	1640	W
		2305	2310	MHz	2000	W
		2345	2360	MHz	2000	W

Exhibit I



Printed: 6/12/2017

Cobb County Online Tax Receipt

Thank you for your payment!

CARLA JACKSON TAX COMMISSIONER
CHELLY MCDUFFIE CHIEF DEPUTY
Phone: 770-528-8600
Fax: 770-528-8679

Payer:
PSI INC

**CONCEPT WAREHOUSE 1 LTD
C/O PUBLIC STORAGE MANAGEMENT INC**

Payment Date: 9/19/2016

Tax Year	Parcel ID	Due Date	Appeal Amount			Taxes Due
2016	17063400180	10/17/2016	Pay:	N/A	or	\$0.00

Interest	Penalty	Fees	Total Due	Amount Paid	Balance
\$0.00	\$0.00	\$0.00	\$0.00	\$16,844.95	\$0.00



Scan this code with your mobile phone to view this bill!

Exhibit J

ULS License

Cellular License - KNKA315 - Verizon Wireless (VAW) LLC

Call Sign	KNKA315	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular
Market			
Market	CMA017 - Atlanta, GA	Channel Block	A
Submarket	0	Phase	2
Dates			
Grant	10/25/2016	Expiration	11/29/2026
Effective	11/04/2016	Cancellation	
Five Year Buildout Date			
01/30/1992			
Control Points			
4	500 West Dove Road, TARRANT, Southlake, TX P: (800)264-6620		
Licensee			
FRN	0003800307	Type	Limited Liability Company
Licensee			
Verizon Wireless (VAW) LLC 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Contact			
Verizon Wireless Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Ownership and Qualifications			
Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes
Alien Ownership			
Is the applicant a foreign government or the representative of any foreign government?			No
Is the applicant an alien or the representative of an alien?			No
Is the applicant a corporation organized under the laws of any foreign government?			No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?			No
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?			Yes

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application? **Yes**

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender

Exhibit K

LEGEND:



PHOTOGRAPH #



SITE

COTTESFORD

PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

SITE PHOTOGRAPHY MAP
130 FT MONOPOLE

PREPARED FOR:

verizon

PREPARED BY:



1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338

Celestial Church of Christ
North Atlanta Parish

Pine Village North

Cuppy Cakes

GURSHA
Ethiopian Cuisine

Farinha Neyde

Cayce Foods

Public Storage

Hawthorne Ave

TWC The
Wrestling Center

Hawthorne Ave St
Mt Zion Baptist Church

McCoba Dr SE

Whatever It Takes

Mitchell Metals

Springleaf Cir SE

Davenport St

3

2

5

4

1

AFTER

1

COTTESFORD

PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

VIEW APPROXIMATELY 260 FT
SOUTH OF SITE

PREPARED FOR:

verizon ✓

PREPARED BY:

 **TOWERSOURCE**

1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338



BEFORE



AFTER

2

COTTESFORD
PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

VIEW APPROXIMATELY 500 FT
WEST OF SITE

PREPARED FOR:

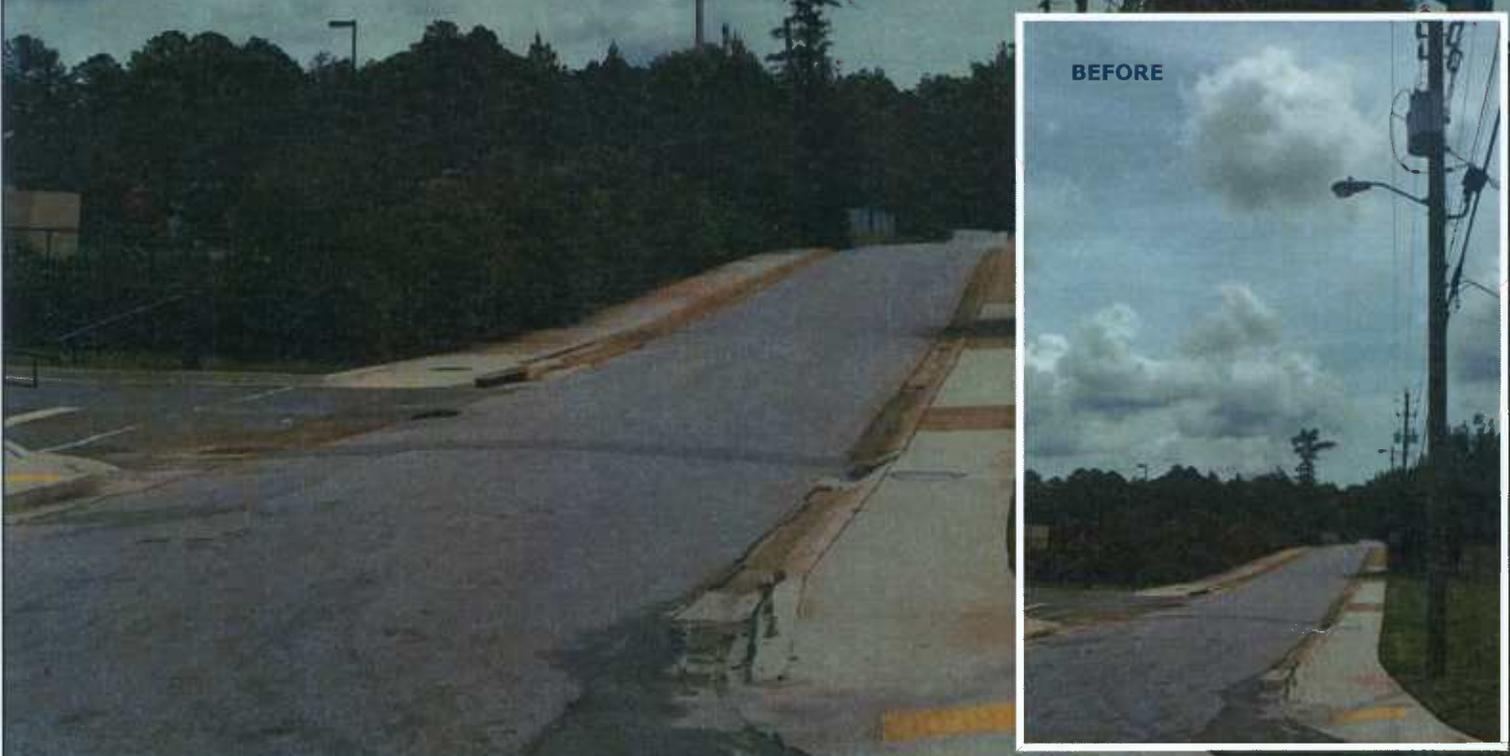
verizon✓

PREPARED BY:

 **AOWERSOURCE**

1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338

BEFORE



AFTER

3

COTTESFORD

PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

VIEW APPROXIMATELY 340 FT
NORTH OF SITE

PREPARED FOR:

verizon✓

PREPARED BY:

 **TOWERSOURCE**

1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338



AFTER

4

COTTESFORD

PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

VIEW APPROXIMATELY 500 FT
EAST OF SITE

PREPARED FOR:

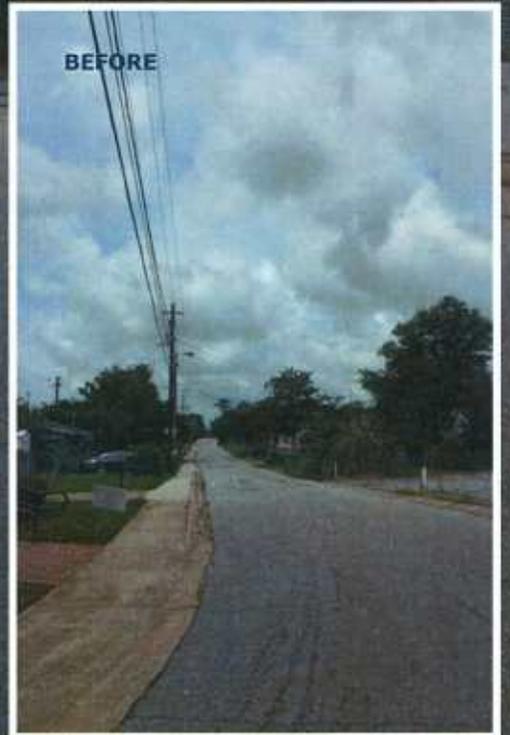
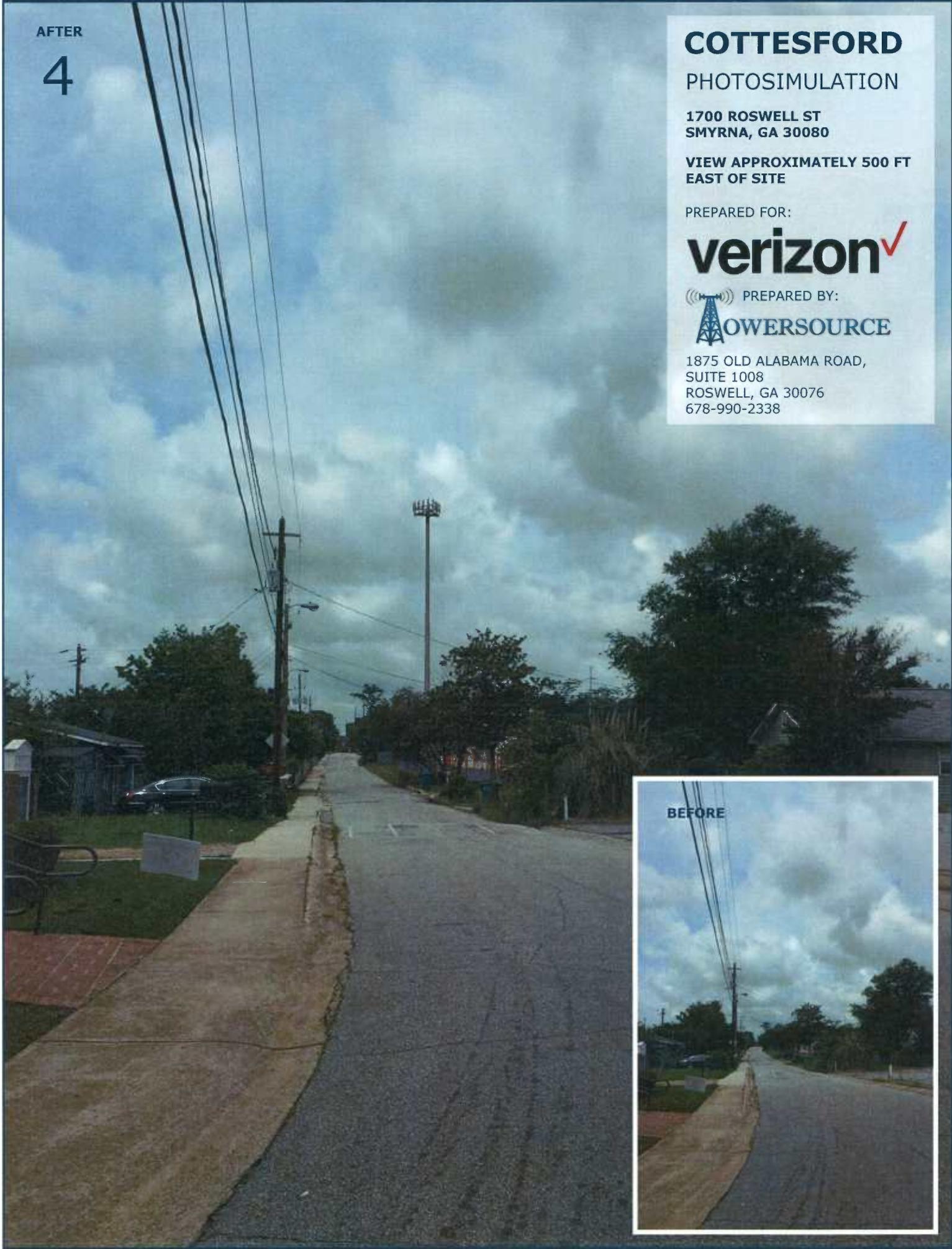
verizon✓

PREPARED BY:

 **TOWERSOURCE**

1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338

BEFORE



AFTER

5

COTTESFORD

PHOTOSIMULATION

1700 ROSWELL ST
SMYRNA, GA 30080

VIEW APPROXIMATELY 50 FT
SOUTH OF SITE

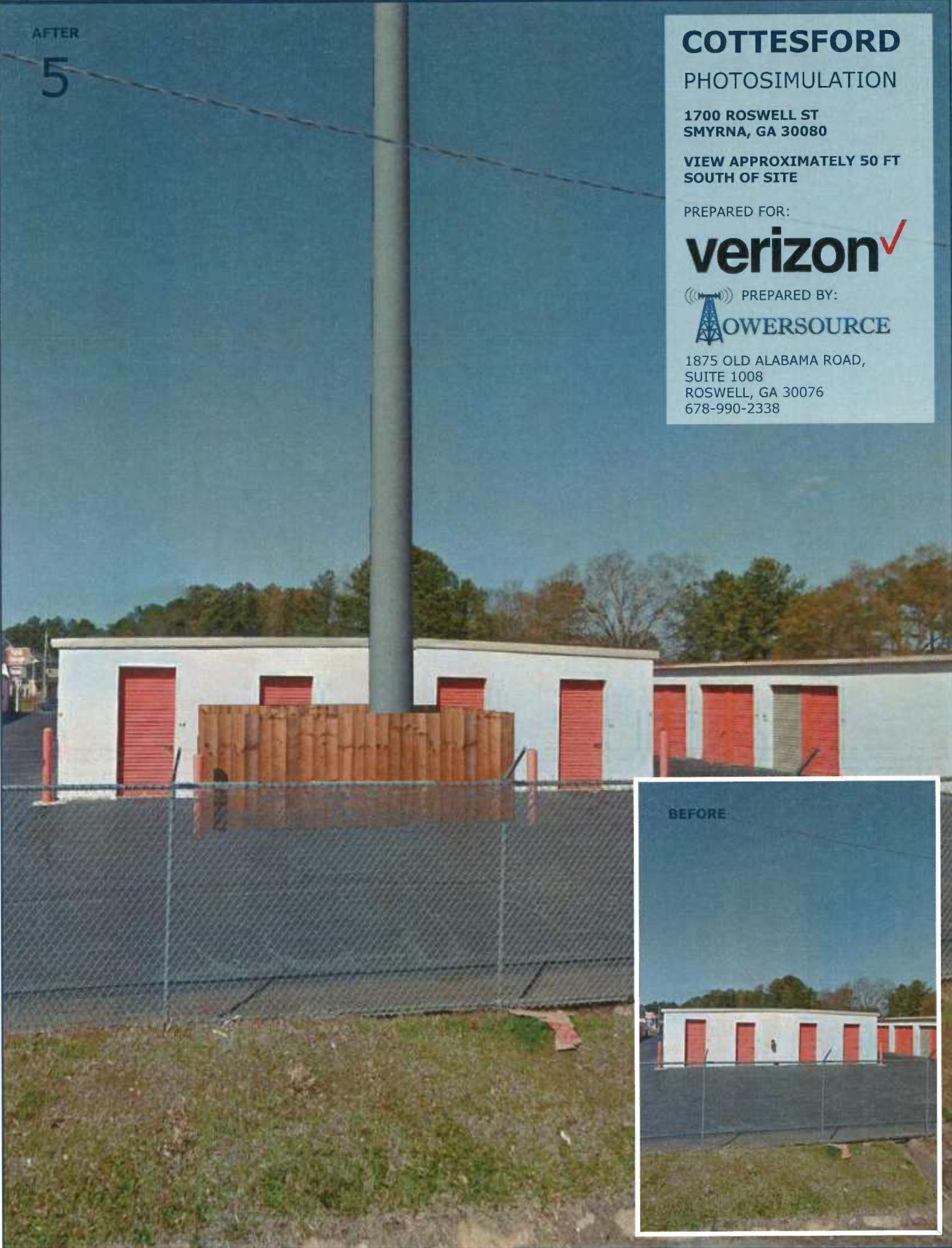
PREPARED FOR:

verizon✓

PREPARED BY:

 TOWERSOURCE

1875 OLD ALABAMA ROAD,
SUITE 1008
ROSWELL, GA 30076
678-990-2338



BEFORE

