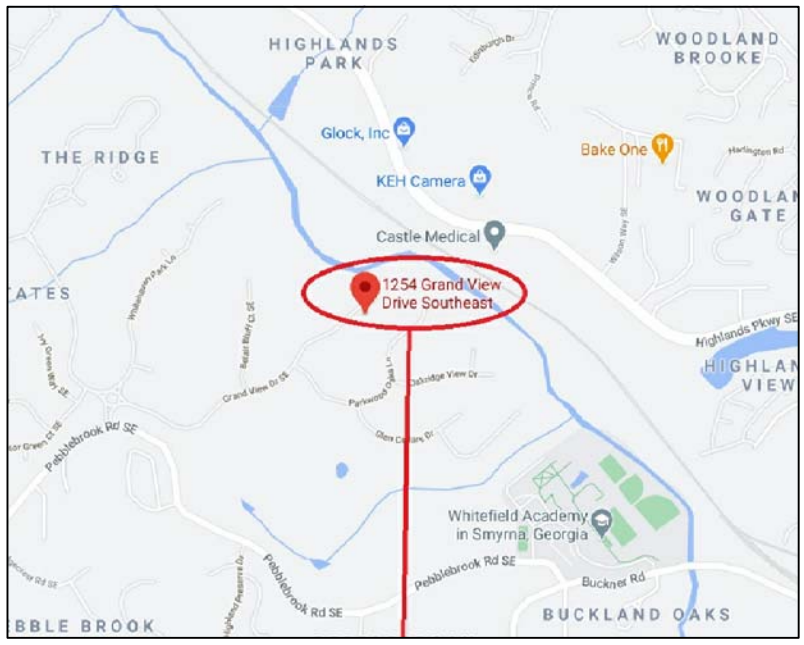


MAGNETIC



LOCATION MAP NOT TO SCALE

ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED RDA CITY OF SMYRNA BUILDING SETBACK FRONT: 25.0' SIDE: 5.0', 7.5' AS PER PLAT REAR: 30.0' MAX. LOT COVERAGE 45% MAX. BUILDING HEIGHT 35'

DISTURBED AREA STABILIZATION ANTICIPATED STARTING DATE: 12/16/2020 ANTICIPATED COMPLETION DATE: 06/16/2021 THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

DIRT STATEMENT TOTAL OF GROSS CUBIC YARDS OF CUT: 80 TOTAL OF GROSS CUBIC YARDS OF FILL: 25 EXCESS OF SOIL TO BE HAULED OFF.

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

GENERAL NOTES (SITE PLAN):

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES. 2. EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY. 3. DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION. 4. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY. 5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTION. 6. SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL MAP ID 1306702009. EFFECTIVE DATE: 10/05/2018. ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- 1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES. 2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES. 3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION. 4. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

SURVEY NOTES:

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS. 2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE. 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION. 5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY. 6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

GENERAL NOTES:

- 1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY. 2. THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION. 3. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND. 4. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE. 5. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. 6. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION. 7. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY. 8. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION. 9. STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA. 10. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. 11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. 12. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS. 13. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

SPECIAL SITE PLAN NOTES:

- 1. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED. 2. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR. 3. STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR. 4. TREE PROTECTION SHALL BE ENFORCED ACCORDING TO COBB COUNTY STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS. 5. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED. 6. ALL GRADED SLOPES TO BE 2H : 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED. 7. ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS. 8. GRADE TO DRAIN AWAY FROM FOUNDATION. 9. NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE. 10. LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA. 11. THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW. 12. HAUL ROUTE PERMIT IS NOT REQUIRED. 13. LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED. 14. TOPOGRAPHY IS BASED ON FIELD RUN SURVEY ON SEPTEMBER 21, 2020.

CERTIFICATIONS:

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

Eugene A. Stepanov (Signature)

TREE PROTECTION: (Tr)

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED. 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS. 3. KEEP OUT SIGN.

* LINE INDICATORS *

- - - - - INDICATES SANITARY SEWER LINE
P - P - P - INDICATES POWER LINE
- - - - - INDICATES WATER LINE
- - - - - INDICATES GAS LINE
- - - - - INDICATES FENCE LINE
- - - - - INDICATES DRAINAGE LINE

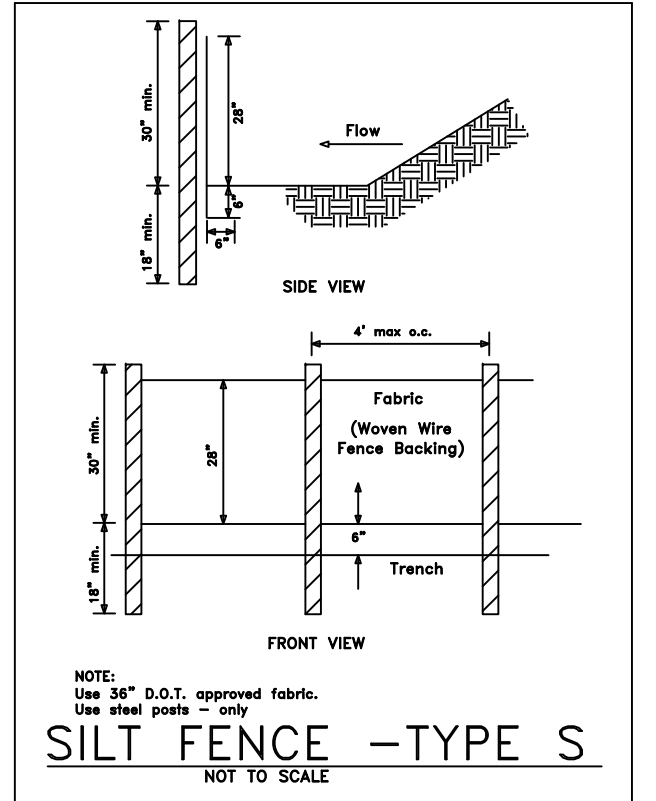
* SYMBOLS *

- ELECTRIC PANEL/METER
□ WATER METER
□ AIR CONDITIONER
□ GAS METER
□ JUNCTION BOX
○ SANITARY SEWER MANHOLE
○ STORM MANHOLE
○ TRAFFIC/INFO SIGN
○ GAS MARKER
○ LAMP POST
○ METAL POST
○ WATER VALVE
○ HEADWALL
○ STAIRS
○ DRAINAGE INLET
○ FIRE HYDRANT

* LEGEND *

- APD AS PER DEED
AE ACCESS EASEMENT
AF AS PER FIELD
AI ANGLE IRON FOUND
APP AS PER PLAT
APR AS PER RECORD
BC BACK OF CURB
BLK BLOCK
BLS BUILDING LINE SETBACK
BRK BRICK
CBX CABLE BOX
CB CATCH BASIN
CL CENTER LINE
CLF CHAIN LINK FENCE
CMP CORRUGATED METAL PIPE
C.O.A. CITY OF ATLANTA
CO SAN SEWER CLEANOUT
CP CALCULATED POINT
CPT CARPORT
CTP CRIMP TOP PIPE FOUND
D DEED
DI DRAINAGE EASEMENT
DE DRAINAGE INLET
EP ELECTRIC POWER BOX
EM ELECTRIC METER
E EDGE OF PAVEMENT
F FIELD
FP FENCE POST
FC FENCE CORNER
FH FIRE HYDRANT
FR FRAME
GL GAS LINE
GM GAS METER
GV GAS VALVE
GW GUY WIRE
HDW HEAD WALL
HW HARDWOOD TREE
IPF IRON PIN FOUND
IPS IRON PIN SET
IR IRON ROD FOUND
IV IRRIGATION VALVE
JB JUNCTION BOX
LLL LAND LOT LINE
MAG MAGNETIC READING IP
MGN MAGNOLIA TREE
MH MAN HOLE
MTF METAL FENCE
N N'BORES
OH OVERHANG
OTP OPEN TOP PIPE FOUND
OU OWNERSHIP UNCLER
P PORCH
PC PROPERTY CORNER
PL PROPERTY LINE
PN PINE TREE
POB POINT OF BEGINNING
PP POWER POLE
PW POWER LINE
(P) PLAT
R RECORD
RBF REINFORCING BAR FOUND
RBS REINFORCING BAR SET
RCP REINFORCED CONC. PIPE
R/W RIGHT-OF-WAY
SN SIGN
SSL SANITARY SEWER LINE
SSE SANITARY SEWER EASEMENT
SP SCREENED PORCH
SW SIDEWALK
TB TOP OF BANK
UE UTILITY EASEMENT
WD WOOD
WDF WOOD FENCE
WDK WOOD DECK
WL WATER LINE
WM WATER METER
WRF WIRE FENCE
WW WATER VALVE
WW WET WEATHER
YI YARD INLET

INDICATES STAIRS



(Sd1-S) SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

EROSION CONTROL LEGEND

Table with 2 columns: Symbol (Ds1, Ds2, Ds3) and Description (DISTURBED AREA STABILIZATION (W/ MULCHING ONLY), A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL., ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES., ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS)

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A. STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 000065549
ISSUED: 01/27/2018 EXPIRES: 01/27/2021

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:
24 HOUR CONTACT: ALLISON WRAY
1254 GRAND VIEW DRIVE
MABLETON, GA 30126
TELEPHONE: (404) 787-8180
EMAIL: ajc8910@hotmail.com



LOT 549 E
VININGS ESTATES SUBDIVISION UNIT X
LAND LOT 537 17TH DISTRICT 2ND SECTION
COBB COUNTY, GEORGIA D.B.15268/P.G.2239 P.B.211/P.G.92
FIELD WORK DATE SEPT 21, 2020 PRINTED/SIGNED DEC 16, 2020
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 17" x 22"
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000± FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.
AM COORD #20201959 DWG #20201959 - VARIANCE PLAN
SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES
24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

VARIANCE PLAN PREPARED FOR: SHEET 1 OF 4
ALLISON WRAY
PROPERTY ADDRESS: 1254 GRAND VIEW DRIVE MABLETON, GA 30126
GEORGIA REGISTERED LAND SURVEYOR EUGENE A. STEPANOV

OLD HOUSE
FFE MAIN 888.24

Curve	Radius	Length	Chord	Chord Bear.
C1	619.79'	100.24'	100.13'	N 60°04'30"E

NO TREES TO BE REMOVED

SILT FENCE HAND DUG IN CRZ

SSMH1
TOP=906.84
INV IN=894.94
INV OUT=894.84

SSMH2
TOP=878.00
INV IN=862.90
INV OUT=862.80

Course	Bearing	Distance
L1	N 34°52'03"W	32.71'
L2	N 32°54'00"W	50.39'

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

CONSTRUCTION ENTRANCE/EXIT
EXISTING DRIVEWAY TO BE USED AS
CONSTRUCTION ENTRANCE / EXIT

IMPERVIOUS AREA WITHIN BUFFER
SUBJECT TO MITIGATION: 800 SF

WATER QUALITY SYSTEM REQUIRED
FOR 80 CF, PROVIDES FOR 100 CF
TREATING 800 SF.

BMP W.Q. DEVICE

NEW DOWNSPOUT
COLLECTORS (TYP) AS
NEEDED TO DIRECT ROOF
RUNOFF TO UNDERGROUND
STONE STORAGE

WATER QUALITY QUALIFICATIONS

REQUIRED WATER QUALITY VOLUME

VOLUME CALCULATIONS FOR THE FIRST 1.2" (0.10 FT) OF
STORM RUNOFF FROM IMPERVIOUS AREA 800 SF
WQv 0.1 x 800 = 80 CF

STONE STORAGE DIMENSIONS

PIT SHALL BE 10' LONG, 5' WIDE AND 5' IN DEPTH.
TOTAL 250 OF 0.75" TO 1.5" CLEAN GRAVEL BACKFILL
VOIDS 40% = 100 CF

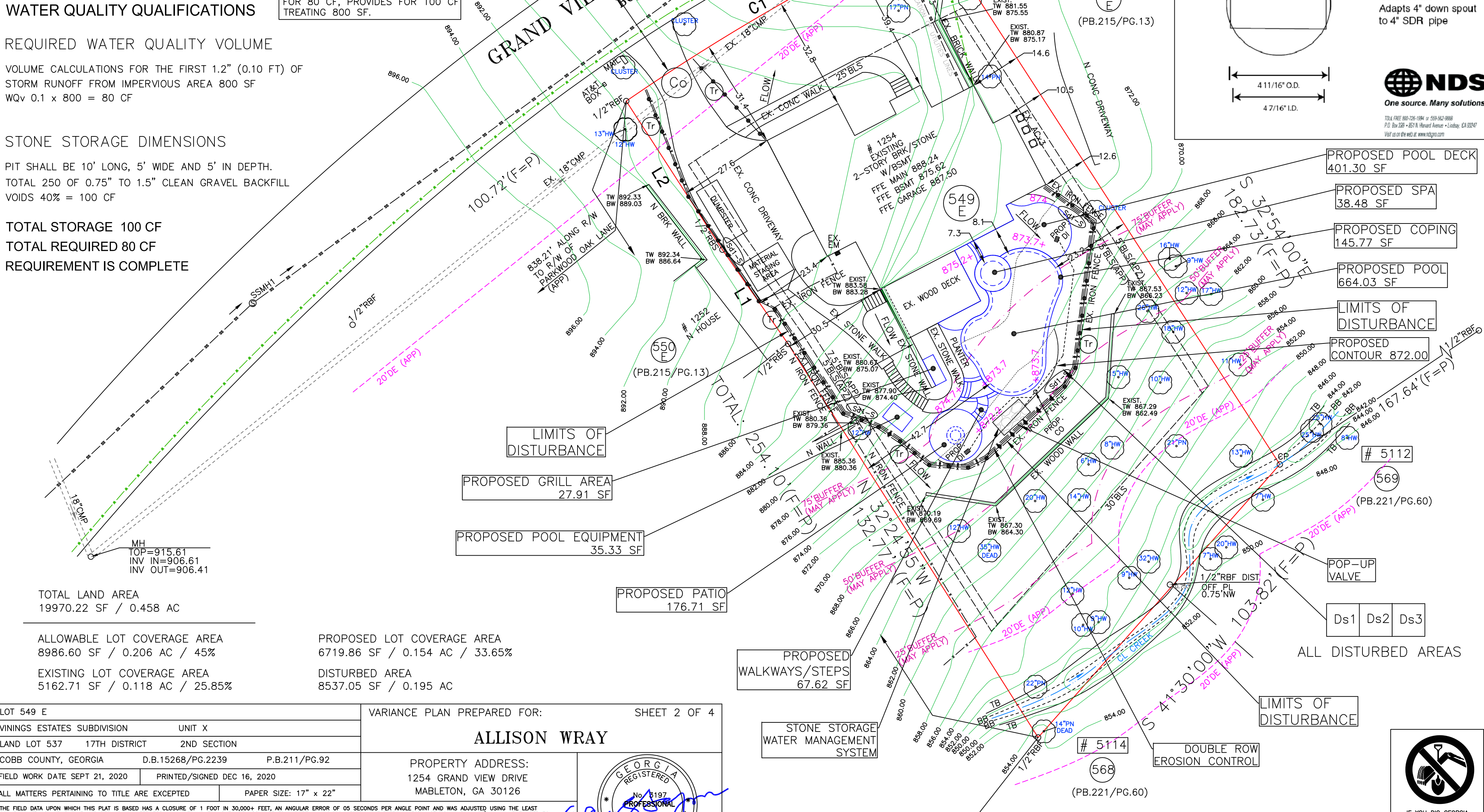
TOTAL STORAGE 100 CF
TOTAL REQUIRED 80 CF
REQUIREMENT IS COMPLETE

9P06 Downspout Adapter

Material: PVC
Color: White
Adapts 4" down spout to 4" SDR pipe

NDS
One source. Many solutions.

TOLL FREE 800-726-1594 or 558-962-0888
P.O. Box 358 • 251 N. Harvard Avenue • Lindsey, CA 92547
Visit us on the web at www.ndsgps.com



TOTAL LAND AREA
19970.22 SF / 0.458 AC

ALLOWABLE LOT COVERAGE AREA
8986.60 SF / 0.206 AC / 45%

EXISTING LOT COVERAGE AREA
5162.71 SF / 0.118 AC / 25.85%

PROPOSED LOT COVERAGE AREA
6719.86 SF / 0.154 AC / 33.65%

DISTURBED AREA
8537.05 SF / 0.195 AC

LOT 549 E		VARIANCE PLAN PREPARED FOR:		SHEET 2 OF 4	
VININGS ESTATES SUBDIVISION UNIT X		ALLISON WRAY			
LAND LOT 537 17TH DISTRICT 2ND SECTION					
COBB COUNTY, GEORGIA D.B.15268/P.G.2239 P.B.211/P.G.92					
FIELD WORK DATE SEPT 21, 2020 PRINTED/SIGNED DEC 16, 2020		PROPERTY ADDRESS: 1254 GRAND VIEW DRIVE MABLETON, GA 30126			
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 17" x 22"					

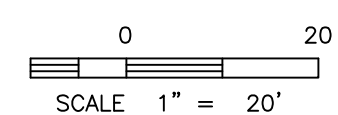
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

AM
COORD #20201959
DWG #20201959 - VARIANCE PLAN

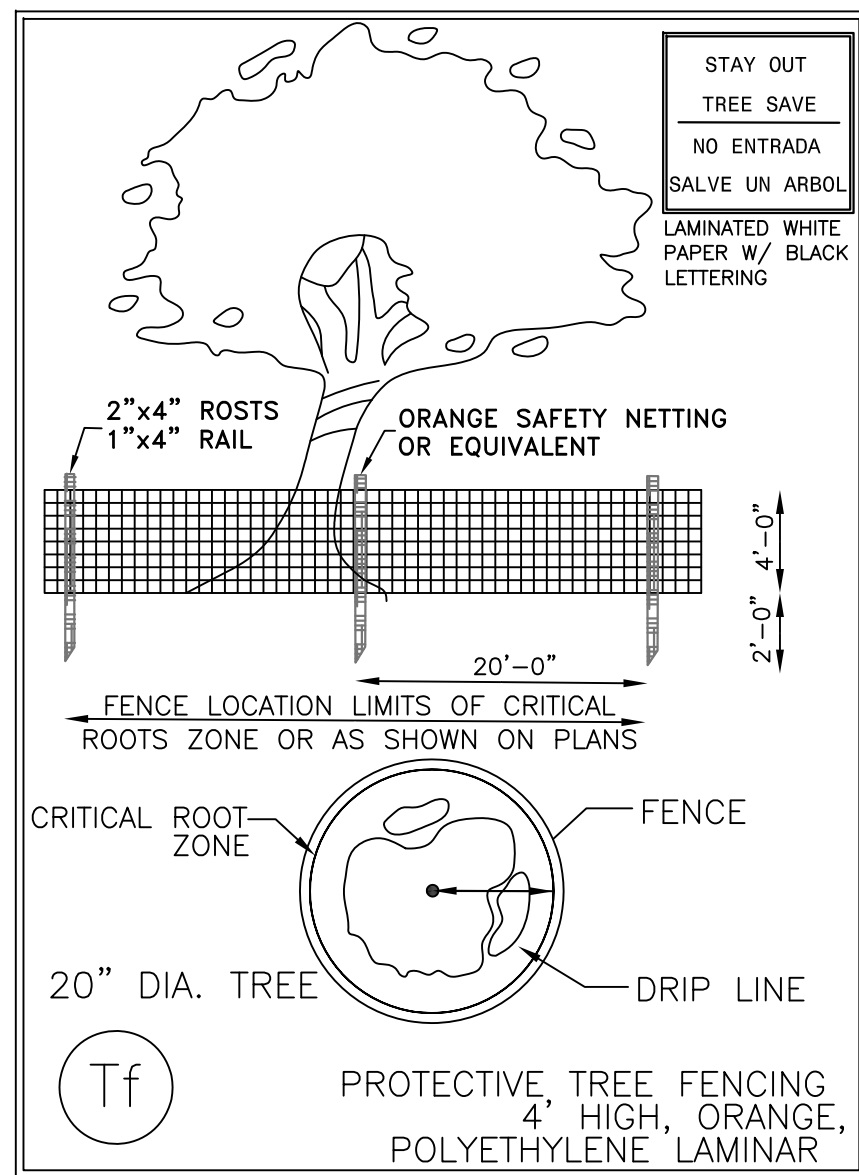
SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN MY OPINION, THIS PLAN IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

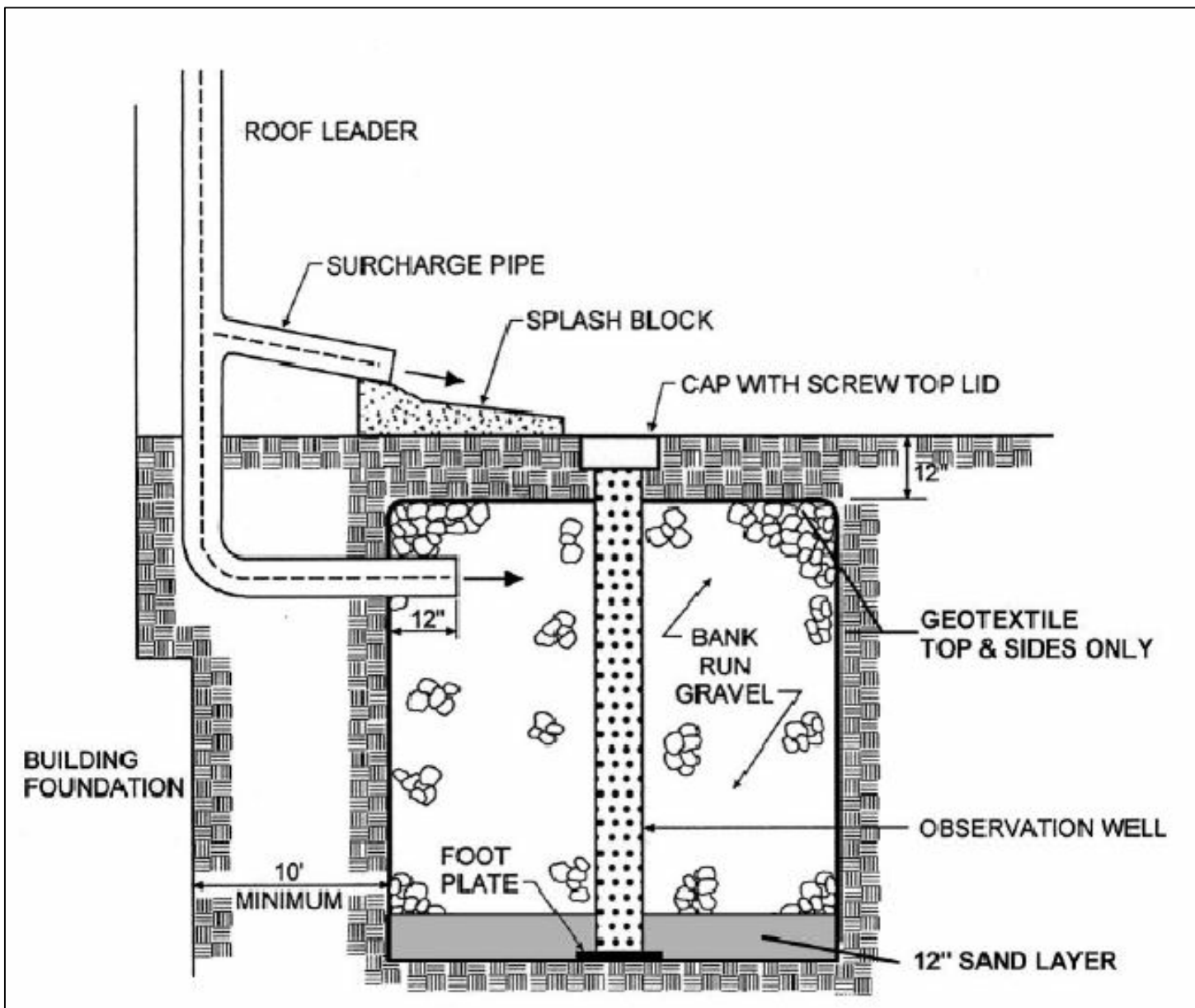


IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-823-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW



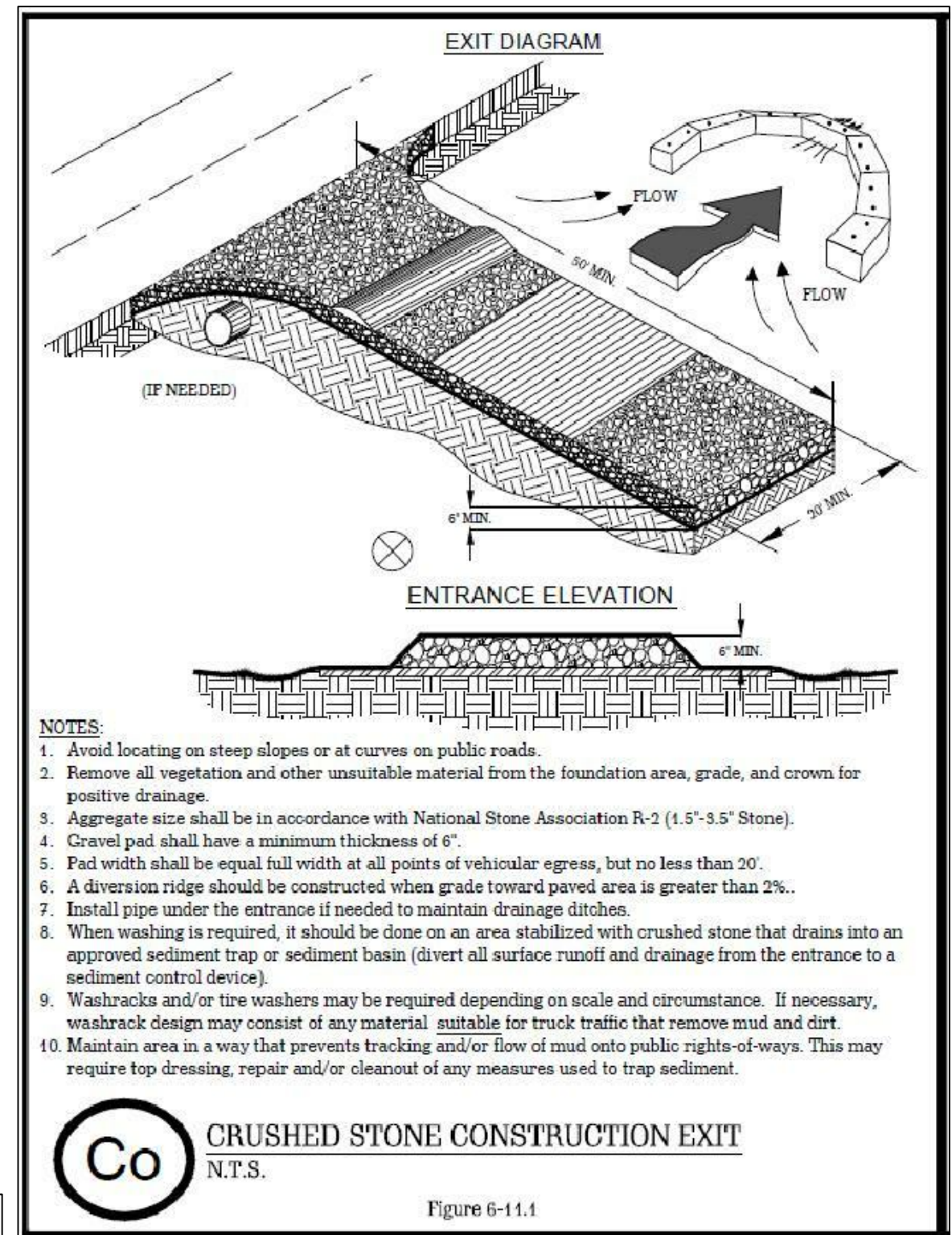
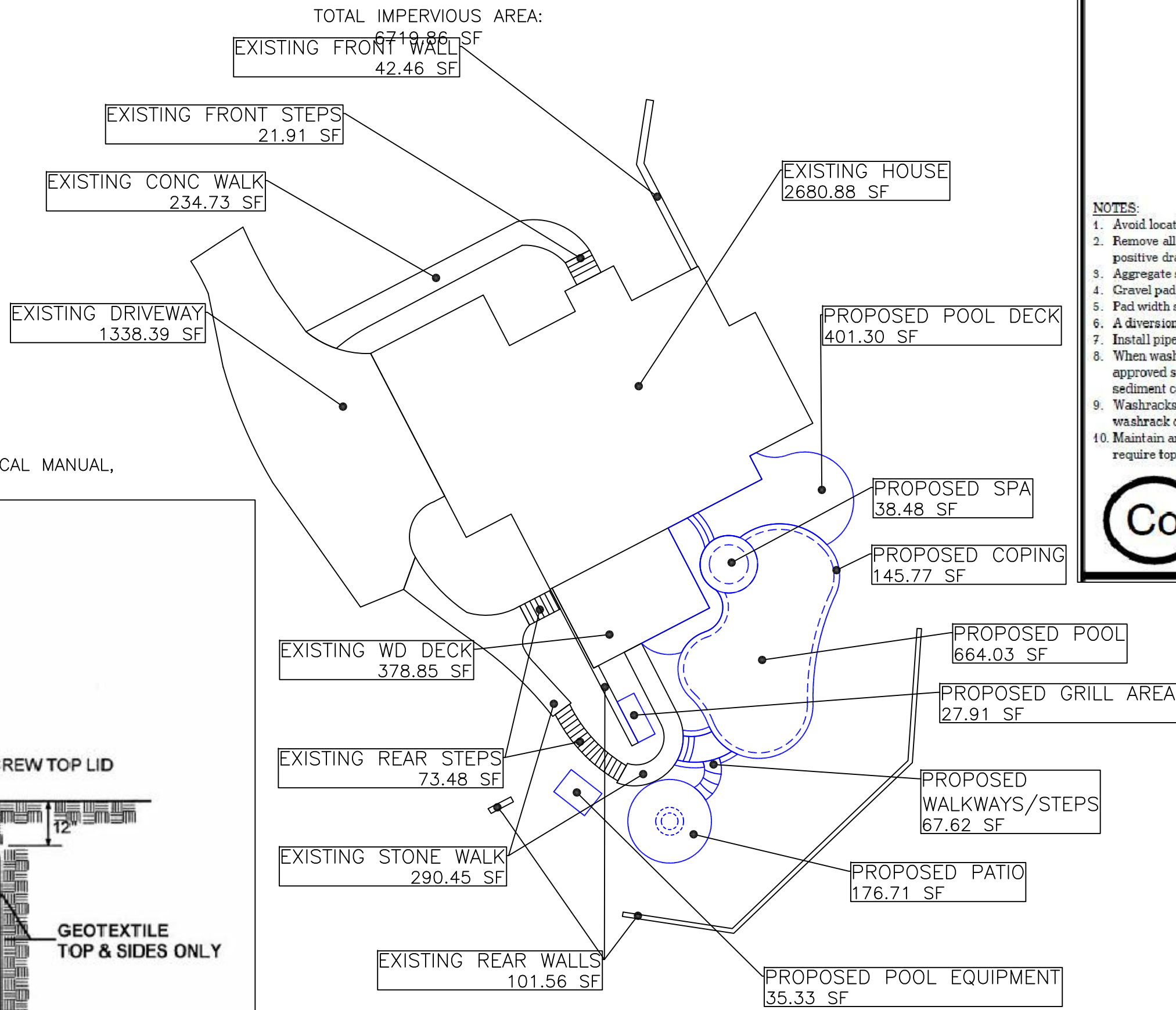
STONE STORAGE DETAIL
SIDE VIEW

PER GEORGIA STORMWATER MANAGEMENT TECHNICAL MANUAL,
VOLUME 2 (2016 EDITION)



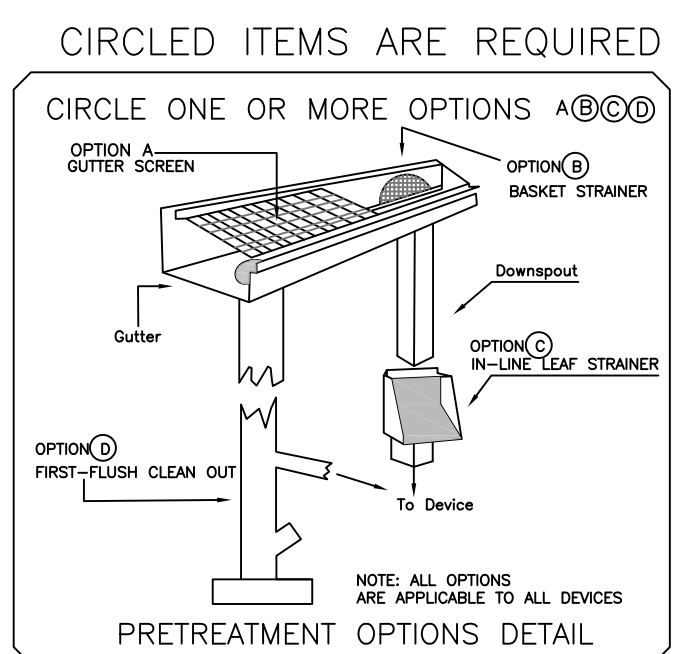
PROPOSED LOT COVERAGE AREA DETAILS

EXIST. HOUSE:	2680.88 SF	PROP. POOL DECK:	401.3 SF
EXIST. FRONT WALL:	42.46 SF	PROP. SPA:	38.48 SF
EXIST. FRONT STEPS:	21.91 SF	PROP. POOL COPING:	145.77 SF
EXIST. CONC WALK:	234.73 SF	PROP. POOL:	664.03 SF
EXIST. DRIVEWAY:	1338.39 SF	PROP. GRILL:	27.91 SF
EXIST. WD DECK:	378.85 SF	PROP. WALK/STEPS:	67.62 SF
EXIST. REAR STEPS:	73.48 SF	PROP. PATIO:	176.71 SF
EXIST. STONE WALK:	290.45 SF	PROP. POOL EQUIP.:	35.33 SF
EXIST. REAR WALLS:	101.56 SF	TOTAL PROPOSED:	1557.15 SF
TOTAL EXISTING:	5162.71 SF		



- NOTES:
1. Avoid locating on steep slopes or at curves on public roads.
 2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
 3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
 4. Gravel pad shall have a minimum thickness of 6".
 5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
 6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
 7. Install pipe under the entrance if needed to maintain drainage ditches.
 8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
 9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
 10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.

Co CRUSHED STONE CONSTRUCTION EXIT
N.T.S.
Figure 6-11.1



BMP NOTES:

1. GRAVEL SIZE 1"-3" STONE.
2. 4" PIPES FROM DOWNDRAINS MUST EXTEND AT LEAST 3" INTO STONE SURROUNDING PIPE.
3. A MINIMUM OF 20 LF OF PIPE SURROUNDED BY 1.0' OF GRAVEL ON ALL SIDES IS REQUIRED.
4. ENTIRE PERIMETER AND ENDS OF PIPE TO BE WRAPPED IN 6-OZ FILTER FABRIC.
5. A CLEANOUT AND/OR EMERGENCY BYPASS SHALL BE PROVIDED.
6. OVERFLOW FROM WATER QUALITY BMP(S) SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
7. WQ BMP'S TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
8. ALL COLLECTED WATER SHALL BE DIRECTED TO WQ BMP'S.
9. AS-BUILT WATER QUALITY CERTIFICATION OR LOT AS-BUILT SURVEY (INCLUDING WATER QUALITY BMP(S)) IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.

TYPICAL MAINTENANCE ACTIVITIES FOR STONE STORAGE

1. AFTER CONSTRUCTION, INSPECT AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE STABILIZATION AND PROPER FUNCTION.	DURING ESTABLISHMENT
2. INSPECT STONE STORAGE AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH.	
3. INSPECT PRETREATMENT DEVICES AND OVERFLOW OUTLETS AND DISPOSE OF SEDIMENT, DEBRIS/TRASH, AND ANY OTHER WASTE MATERIAL REMOVED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS	
4. CHECK OBSERVATION WELL FOLLOWING 3 DAYS OF DRY WEATHER TO ENSURE 72-HOUR MAXIMUM IS NOT BEING EXCEEDED.	
5. REGULARLY CLEAN OUT GUTTERS AND ENSURE PROPER CONNECTIONS.	QUARTERLY
6. REPLACE ROOF LEADER FILTER SCREENS AS NECESSARY.	
7. CLEAN OUT INTERMEDIATE SUMP BOX (IF INCLUDED) AT LEAST ONCE A YEAR.	ANNUALLY
8. PERFORM TOTAL REHABILITATION OF STONE STORAGE TO MAINTAIN DESIGN STORAGE CAPACITY AND 72-HOUR DRAWDOWN TIME	UPON FAILURE

LOT 549 E
VININGS ESTATES SUBDIVISION UNIT X
LAND LOT 537 17TH DISTRICT 2ND SECTION
COBB COUNTY, GEORGIA D.B.15268/PG.2239 P.B.211/PG.92
FIELD WORK DATE SEPT 21, 2020 PRINTED/SIGNED DEC 16, 2020
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 17" x 22"

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

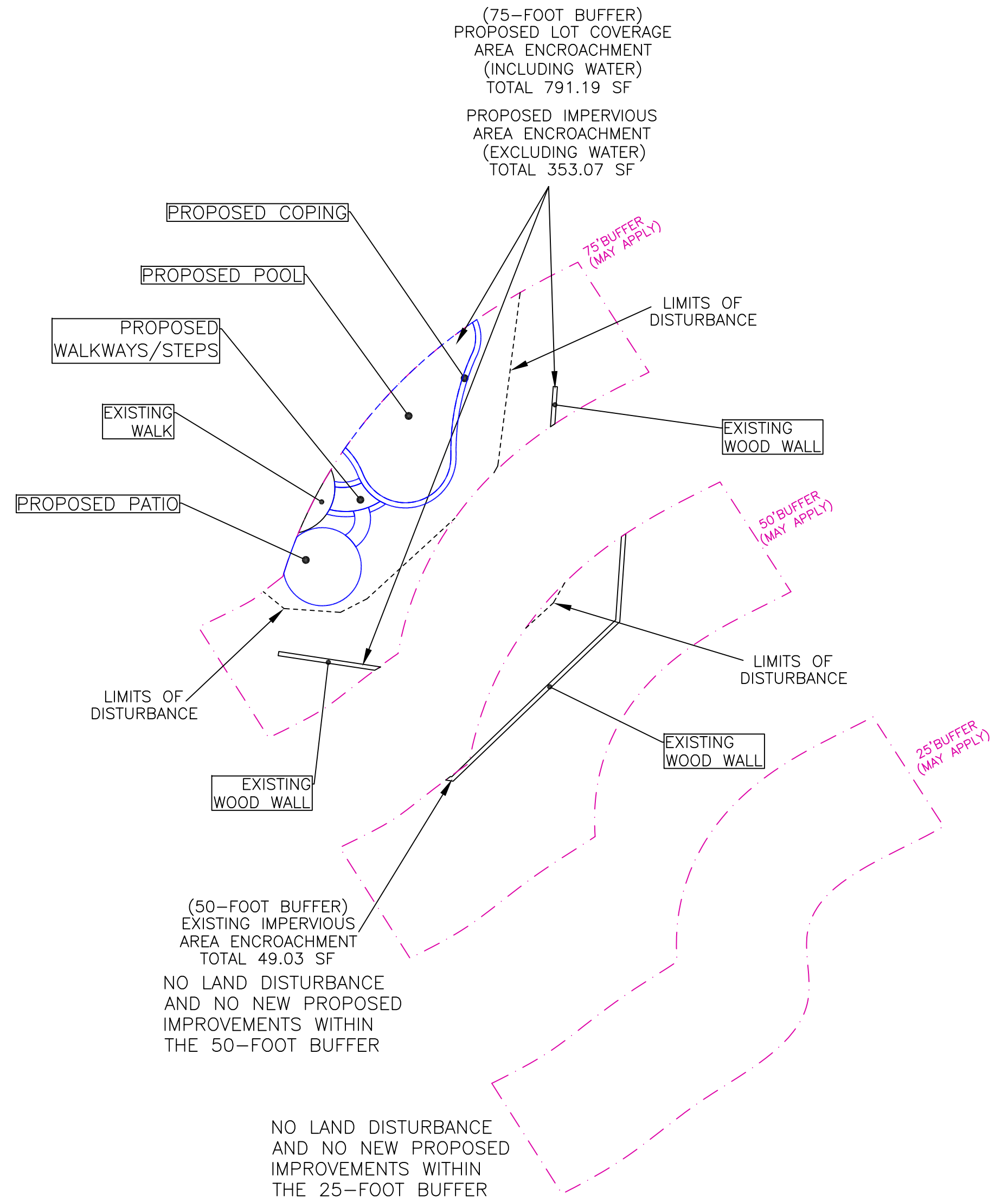
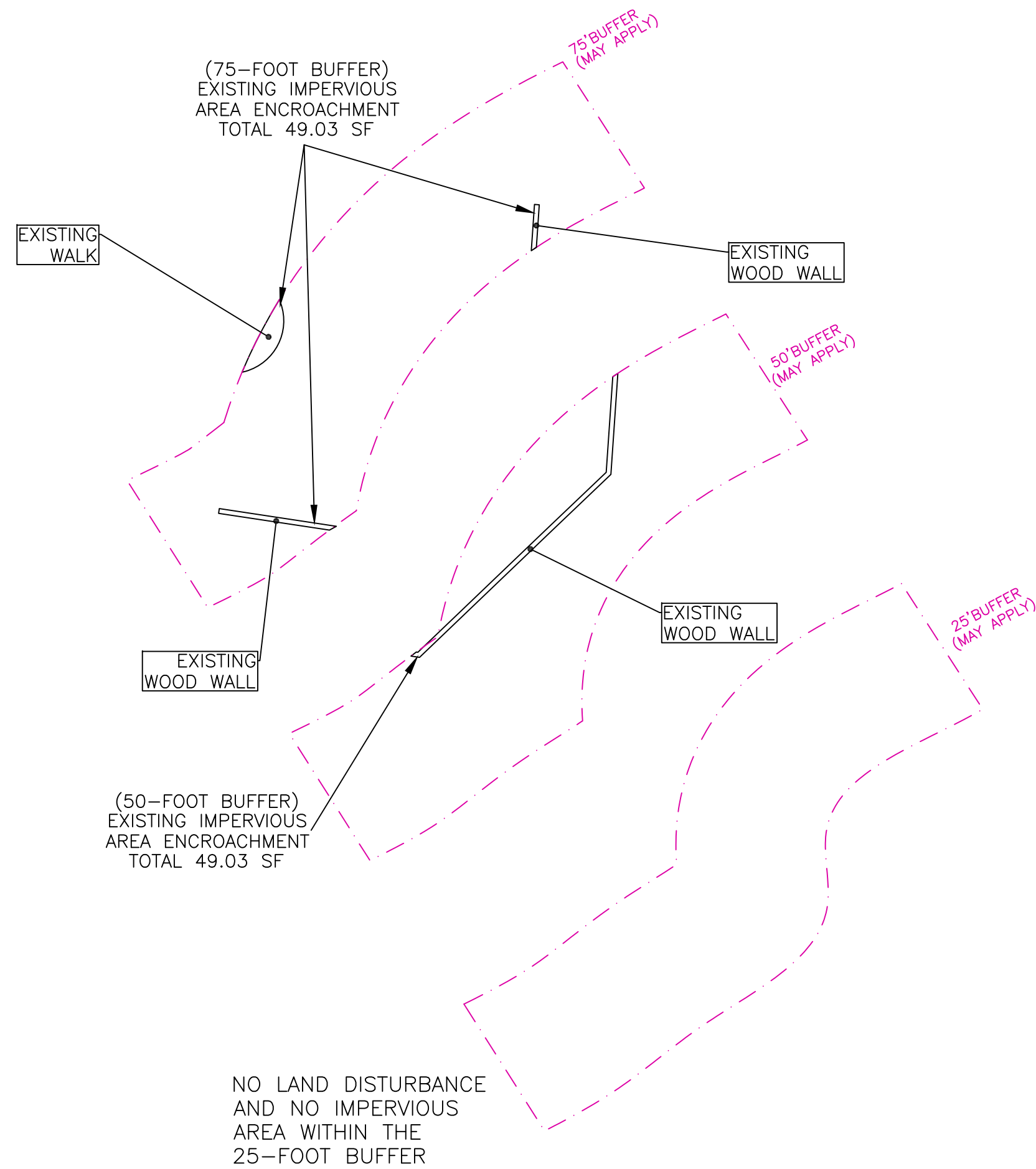
VARIANCE PLAN PREPARED FOR: SHEET 3 OF 4
ALLISON WRAY
PROPERTY ADDRESS:
1254 GRAND VIEW DRIVE
MABLETON, GA 30126

GEORGIA REGISTERED LAND SURVEYOR
No. 8197
LUCYNE A. STEPHENS

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

EXISTING BUFFER ENCROACHMENTS DETAIL

PROPOSED BUFFER ENCROACHMENTS DETAIL



LOT 549 E	
VININGS ESTATES SUBDIVISION	UNIT X
LAND LOT 537	17TH DISTRICT 2ND SECTION
COBB COUNTY, GEORGIA	D.B.15268/P.G.2239 P.B.211/P.G.92
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VARIANCE PLAN PREPARED FOR: SHEET 4 OF 4

ALLISON WRAY

PROPERTY ADDRESS:
1254 GRAND VIEW DRIVE
MABLETON, GA 30126



BUFFER AREA	EXIST. ENCHROACHMENT	PROPOSED ENCHROACHMENT
25 FOOT (STATE BUFFERS)	NONE	NONE
50 FOOT (COUNTY BUFFER)	49.03 SF	49.03 SF
75 FOOT (COUNTY BUFFER)	54.78 SF	791.19 SF

AM
COORD #20201959
DWG #20201959 - VARIANCE PLAN

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FAX 404-601-0941
TEL 404-252-5747
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