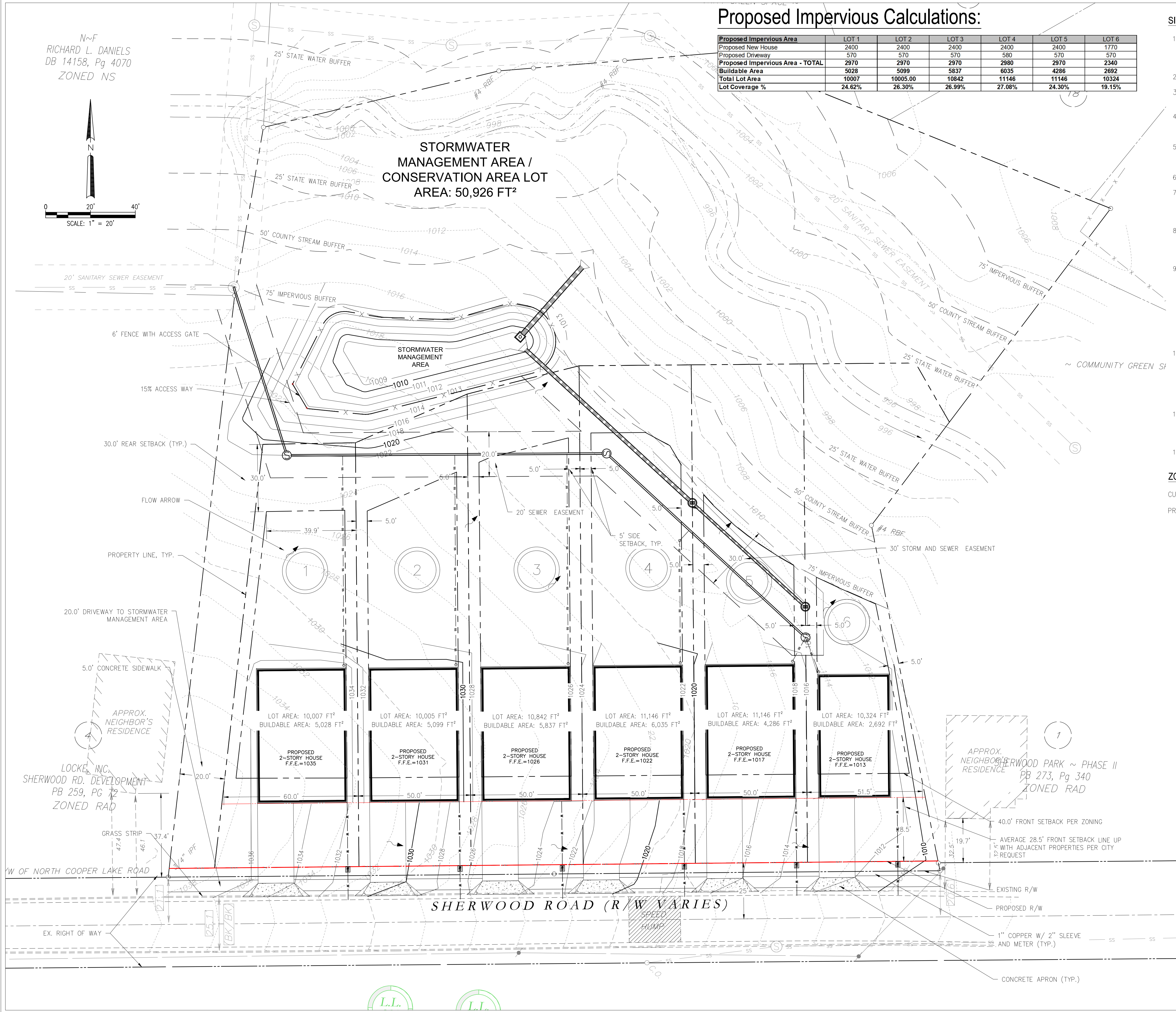
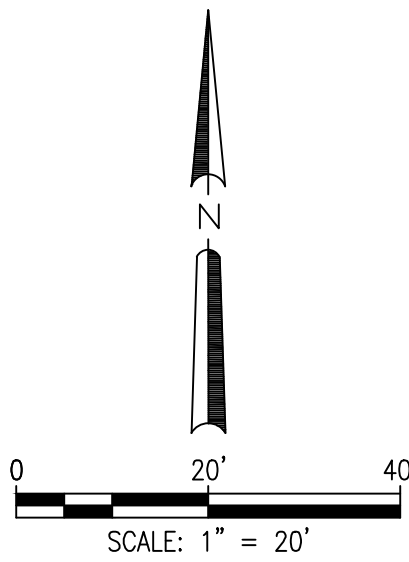


N~F
RICHARD L. DANIELS
DB 14158, Pg 4070
ZONED NS



Proposed Impervious Calculations:

Proposed Impervious Area	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
Proposed New House	2400	2400	2400	2400	2400	1770
Proposed Driveway	570	570	570	580	570	570
Proposed Impervious Area - TOTAL	2970	2970	2970	2980	2970	2340
Buildable Area	5028	5099	5837	6035	4286	2692
Total Lot Area	10007	10005.00	10842	11146	11146	10324
Lot Coverage %	24.62%	26.30%	26.99%	27.08%	24.30%	19.15%

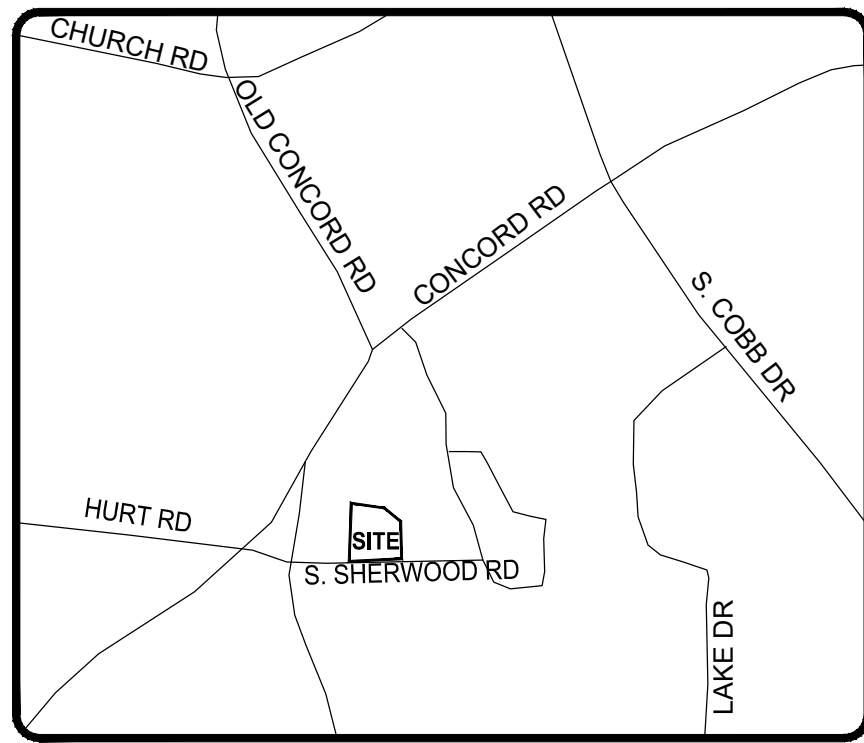
SITE NOTES:

1. THE SITE CONTAINS: 2.654 ACRES (OR 115,622.6 SF)
TOTAL DISTURBED AREA: 1.17 ACRES
SITE ADDRESS: 3562 & 3572 SHERWOOD ROAD, SMYRNA, GEORGIA
PARCEL NUMBER: 17033900030 17038200080
2. THE NORTH ARROW AND SCALE ARE SHOWN ON THIS PLAN.
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY MCCLUNG SURVEYING SERVICES, INC DATED 1-15-19.
4. NO PORTION OF THIS PROPERTY IS INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13067C0206 J, DATED OCTOBER 5, 2018.
5. THERE ARE WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.
6. NO WETLANDS EXIST WITHIN 200 FT OF THE PROJECT SITE.
7. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
8. BUILDING FOUNDATION & LAYOUT SHALL BE COORDINATED USING ARCHITECTURAL DRAWINGS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER CIVIL DRAWINGS CONCERNING FOUNDATIONS AND ALIGNMENT WITH EXISTING STRUCTURES OR SURVEY.
9. THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
10. UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
11. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
12. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.

ZONING REQUIREMENTS:

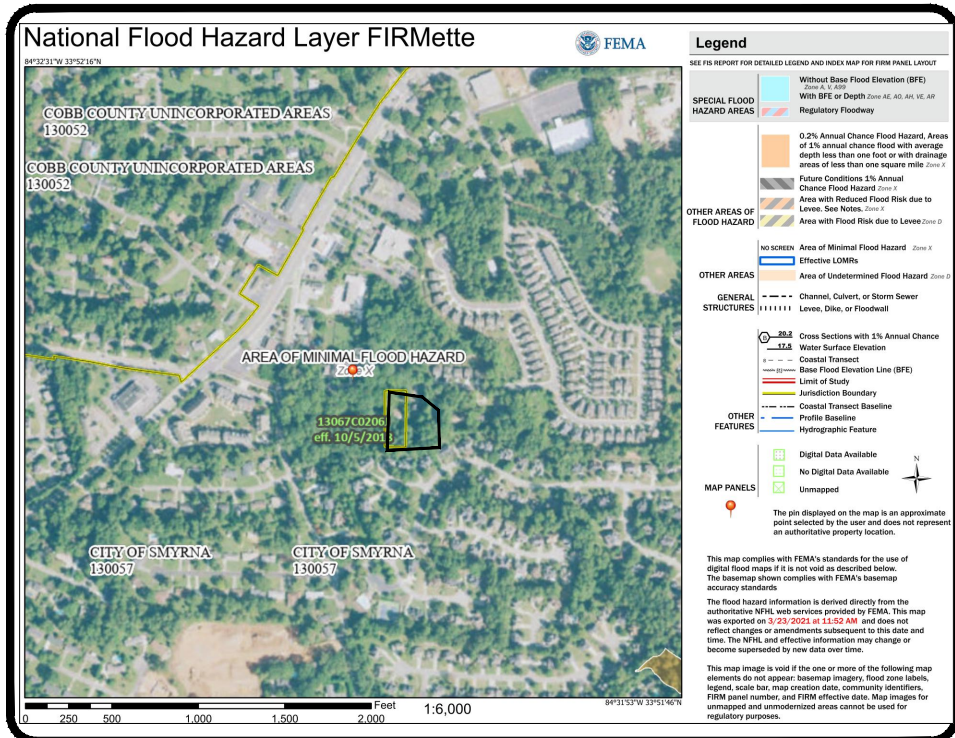
CURRENT ZONING: R-15 SINGLE FAMILY ATTACHED OR DETACHED

PROPOSED ZONING: RAD-SINGLE FAMILY DETACHED
MINIMUM LOT SIZE: 7,260 SF (10,000 SF MIN SHOWN)
MINIMUM LOT WIDTH AT FRONT SETBACK: 50 FT
MINIMUM PUBLIC ROAD FRONTAGE: 50 FT
FRONT SETBACK: 40 FT (MINOR ROAD)
SIDE SETBACK: 5 FT
REAR SETBACK: 30 FT
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM IMPERVIOUS = 45%
PARKING REQUIREMENTS: PROHIBITED WITHIN THE REQUIRED FRONT YARD EXCEPT UPON A HARD-SURFACE DRIVEWAY WHICH SERVES A DWELLING STRUCTURE LOCATED ON THE PROPERTY.



Location Map

N.T.S.



FEMA Map

N.T.S.

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SITE PLAN

DATE	6-6-2021	AS SHOWN	REVISIONS
SCALE			
DRAWN			
CHECKED			

CONSTRUCTION PLANS FOR:

THE GROVE AT KING SPRINGS
LAND LOTS 339 & 382, 17TH DISTRICT
SMYRNA, COBB COUNTY, GEORGIA

CVE PI # 21-196

SHEET NO.

C-1