

Zoning per Z14-008

RAD-Conditional

Building Setbacks:
Front - 20 feet
Side Major - 20 feet
Side - 5 feet
Rear - 20 feet

Minimum Lot Size = 8,300 sq. ft.

Lot Summary:

Lot 1 - 9,842 sq. ft. or 0.2259 acres
Lot 2 - 8,772 sq. ft. or 0.2014 acres
Lot 3 - 8,772 sq. ft. or 0.2014 acres
Lot 4 - 8,800 sq. ft. or 0.2020 acres
Open Space Park - 9,875 sq. ft. or 0.2267 acres
Detention Lot - 10,561 sq. ft. or 0.2424 acres

Required R/W Dedication:
1,406 sq. ft.

Total Area:
56,622 sq. ft. or 1.2999 acres

General Notes:

- Reference Survey: "Above the Ground As Built Survey" prepared by undersigned dated July 1, 2014.
- Equipment used: Topcon GTS 303 Total Station and TDS data collector.
- Information regarding the reputed presence, size, character, and location of existing underground utilities and structures shown are based upon visual observation only. There is no certainty of the accuracy of this information and it shall be considered in that light by those relying on this plat. Prior to any digging, construction, design or planning for improvement on either of these lots, the underground utilities need to be marked and located.
- Date of field survey: July 1, 2014.
- No bury or burn pits on site.
- All lots to be serviced by City of Smyrna Water & Sewer.
- 1/2 Inch Re-Bar set at all corners not found.
- Protective Covenants are recorded in Deed Book _____, Page _____.
- Detention Pond to be maintained by H.O.A.
- Bearing shown are Magnetic Bearings.

OWNER'S CERTIFICATION

THE OWNER OF THE PLAT SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, THAT ALL STATE, CITY AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID, THAT ALL STREETS, WATER SYSTEMS DRAINS AND DRAINAGE EASEMENTS, AND PUBLIC PLACES ARE DEDICATED TO THE USE OF THE PUBLIC IN PERPETUITY.

OWNER: Rebecca Keaton

DATE: 12-18-14

THIS PLAT HAVING BEEN SUBMITTED TO THE CITY OF SMYRNA AND HAVING BEEN FOUND TO COMPLY WITH THE CITY OF SMYRNA DEVELOPMENT STANDARDS AND THE CITY OF SMYRNA ZONING ORDINANCE, IS APPROVED SUBJECT TO THE INSTALLATION OF ALL STREETS, UTILITIES, EASEMENTS AND OTHER IMPROVEMENTS. A ONE-YEAR MAINTENANCE BOND HAS BEEN POSTED ON BEHALF OF THE CITY OF SMYRNA.

[Signature]
MAYOR, CITY OF SMYRNA

DATE: 12/22/14

[Signature]
PLANNING AND ZONING COMMISSION CHAIRMAN

DATE: 12/22/14

[Signature]
COMMUNITY DEVELOPMENT DIRECTOR

DATE: 12/19/14

[Signature]
PUBLIC WORKS DIRECTOR

DATE: 12/16/14

[Signature]
CITY ENGINEER

DATE: 12/12/14

[Signature]
CHIEF BUILDING OFFICIAL

DATE: 12/22/14

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CITY OF SMYRNA SUBDIVISION REGULATIONS.

BY: James A. Evans, Jr.
R.L.S. # 2167

DATE: 12-18-14

Closure Statement:

The field data upon which this map or plat is based on has a closure precision of 1 foot in 27,826 feet and an angular error of 00° 00' 03" per angle point and was not adjusted. This map or plat has been calculated for closure and is found to be accurate within 1 foot in 56,249 feet.

Flood Statement:

This property is not located in an identified flood hazard area according to F.I.R.M. Panel #13067C0207 H last revised on March 4, 2013.

REVISIONS:

No.	Date	REVISIONS:

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67, AUTHORITY O.C.G.A. SECS. 15-6-57, 43-15-4, 43-15-6, 43-15-19, 43-15-22

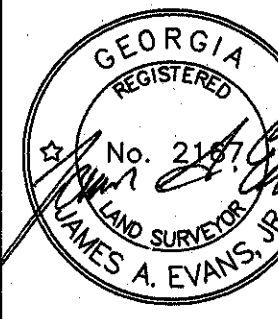
FINAL PLAT OF

KINGSTON MANOR

L.L. 527, DIST. 17, SECT. 2
CITY OF SMYRNA
COBB COUNTY, GEORGIA

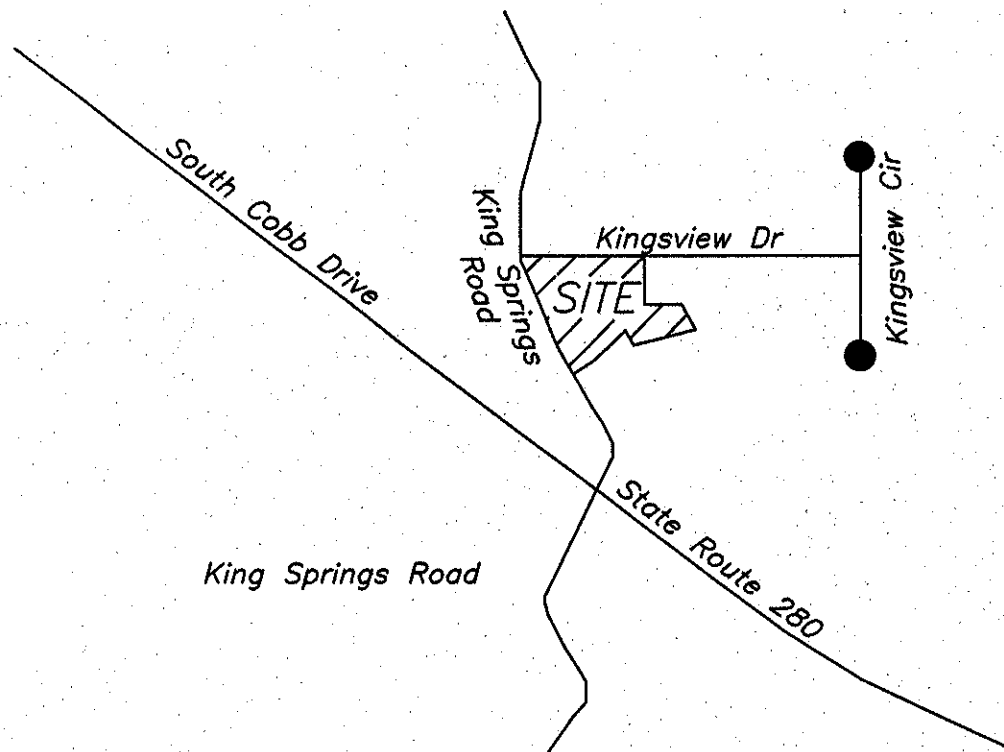
IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAWS 2167

James A. Evans, Jr.
GEORGIA REGISTERED LAND SURVEYOR



LOCATION MAP

NOT TO SCALE



LEGEND

- M.H. - MANHOLE
- J.B. - JUNCTION BOX
- C.B. - CATCH BASIN
- D.I. - DROP INLET
- S.S.E. - SANITARY SEWER ESMT
- D.E. - DRAINAGE EASEMENT
- U.E. - UTILITY EASEMENT
- I.P.F. - IRON PIN FOUND
- I.P.S. - IRON PIN SET
- C.T.P. - CRIMP TOP PIPE
- O.T.P. - OPEN TOP PIPE
- R.B. - RE-BAR
- F.H. - FIRE HYDRANT
- B/L - BUILDING LINE
- R/W - RIGHT OF WAY
- P/P - POWER POLE
- C - CENTER LINE
- C/O - CLEAN OUT
- D.S. - DOWNSPOUT



Know what's below.
Call before you dig.