

# FRASER

## ELEVATIONS

ACTIVE: A

## SQUARE FOOTAGE TABLE

FRASER	
Square Footage Calculations	A
First Floor	1271
Second Floor	1192
Total Base Heated (Std.)	2557
Total Heated (w/ Options)	2557
Entry Stoop	16
Patio/ Deck	N/A

## DRAWING INDEX

- 0 COVER SHEET
- ARCHITECTURAL: ELEVATION SPECIFIC
- 1.0 FRONT ELEVATION
  - 2.0 SIDES & REAR ELEVATIONS
  - 2.1 ROOF PLAN
  - 3.0 EXISTING FOUNDATION PLAN
  - 3.1 PROPOSED FOUNDATION PLAN
  - 4.0 EXISTING FIRST FLOOR PLAN
  - 4.1 FIRST FLOOR PLAN
  - 5.0 SECOND FLOOR PLAN
  - 6.0 PLAN OVERLAY
- ELECTRICAL: ELEVATION SPECIFIC
- E1.0 FIRST FLOOR ELECTRICAL
  - E2.0 SECOND FLOOR ELECTRICAL

## REVISION LOG

2018.01  
DATE: 3/7/18  
BY: KMF

NEW PLAN

17 HAWKSTONE CT  
ACWORTH, GA 30101 (770)312-0906



FRASER

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COVER SHEET

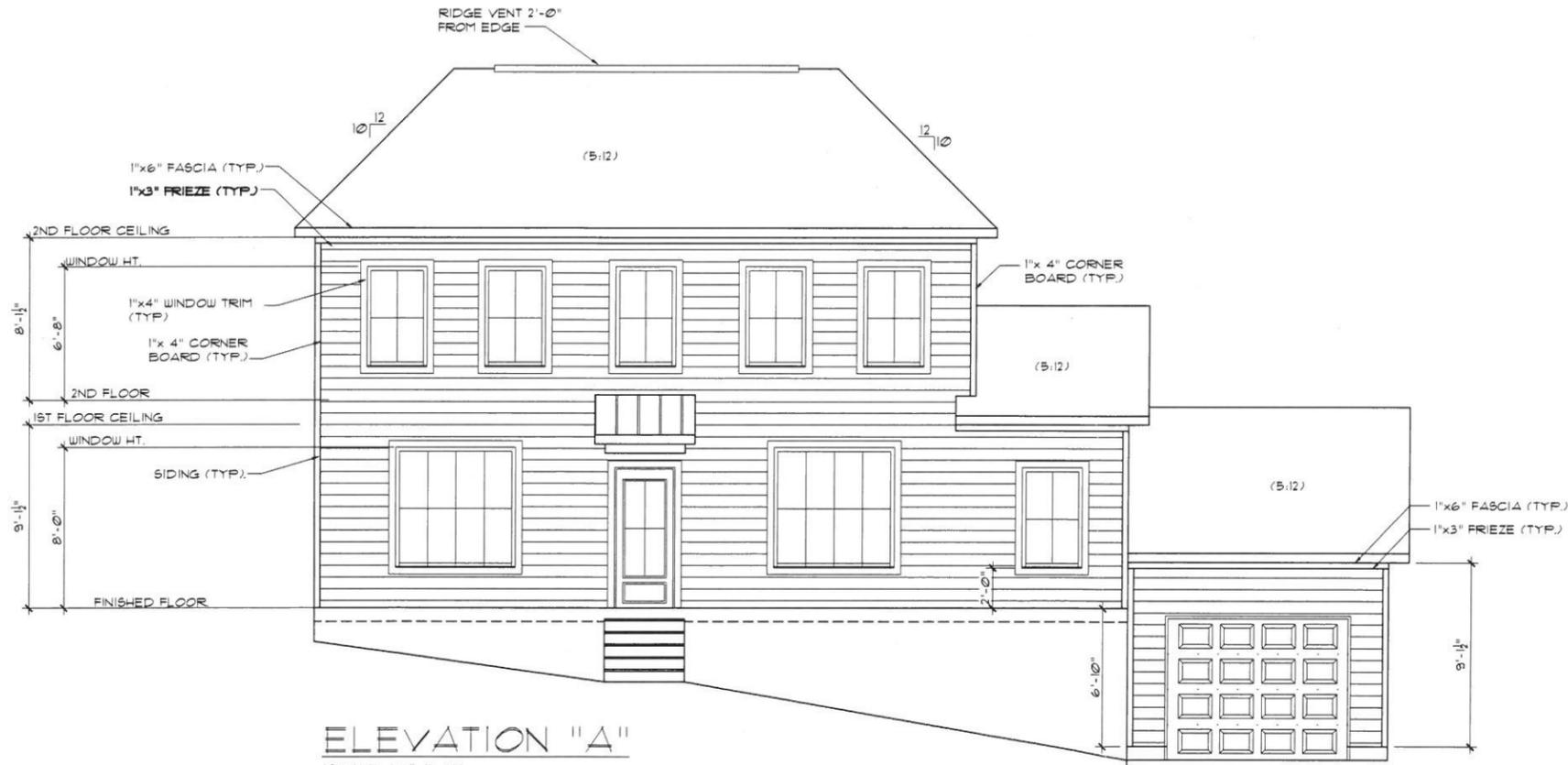
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# FOSTER & FOSTER

## CREATIVE SOLUTIONS

ATLANTA

FOSTER AND FOSTER CREATIVE SOLUTIONS



**ELEVATION "A"**  
(SCALE: 1/8"=1'-0")

**ELEVATION NOTES:**  
1. ALL PRE-ENGINEERED ROOF TRUSSES SHALL BE CANTILEVER TRUSSES.

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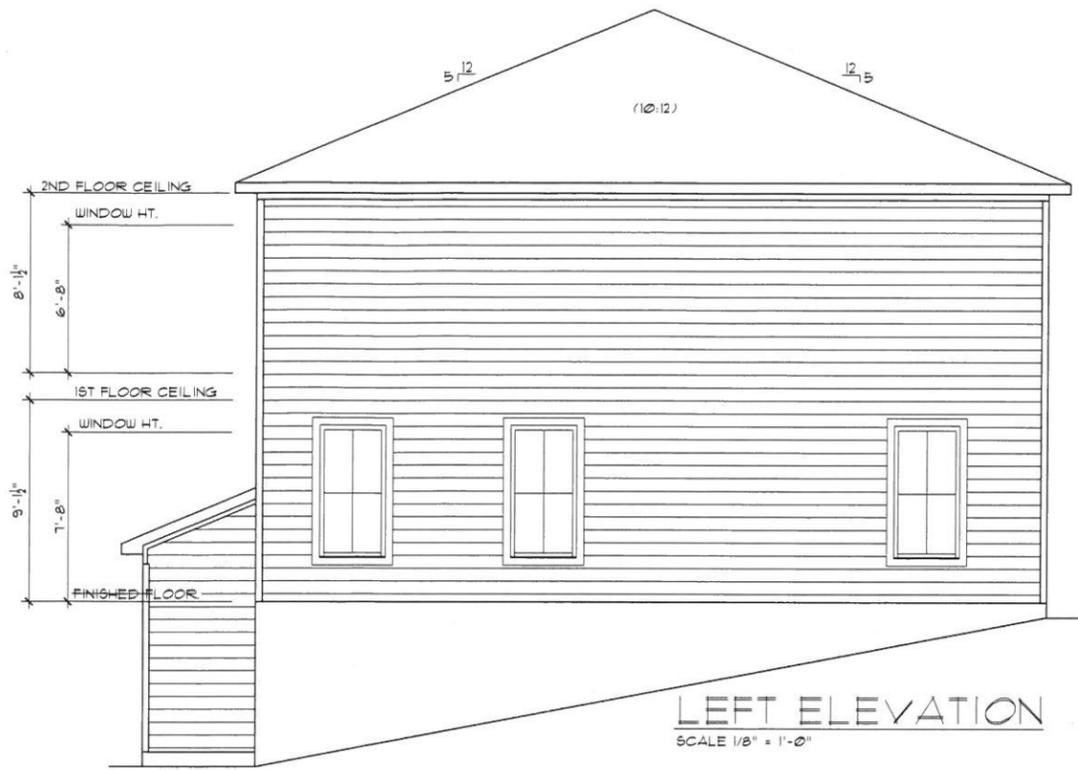
1.0A

FRONT ELEVATION

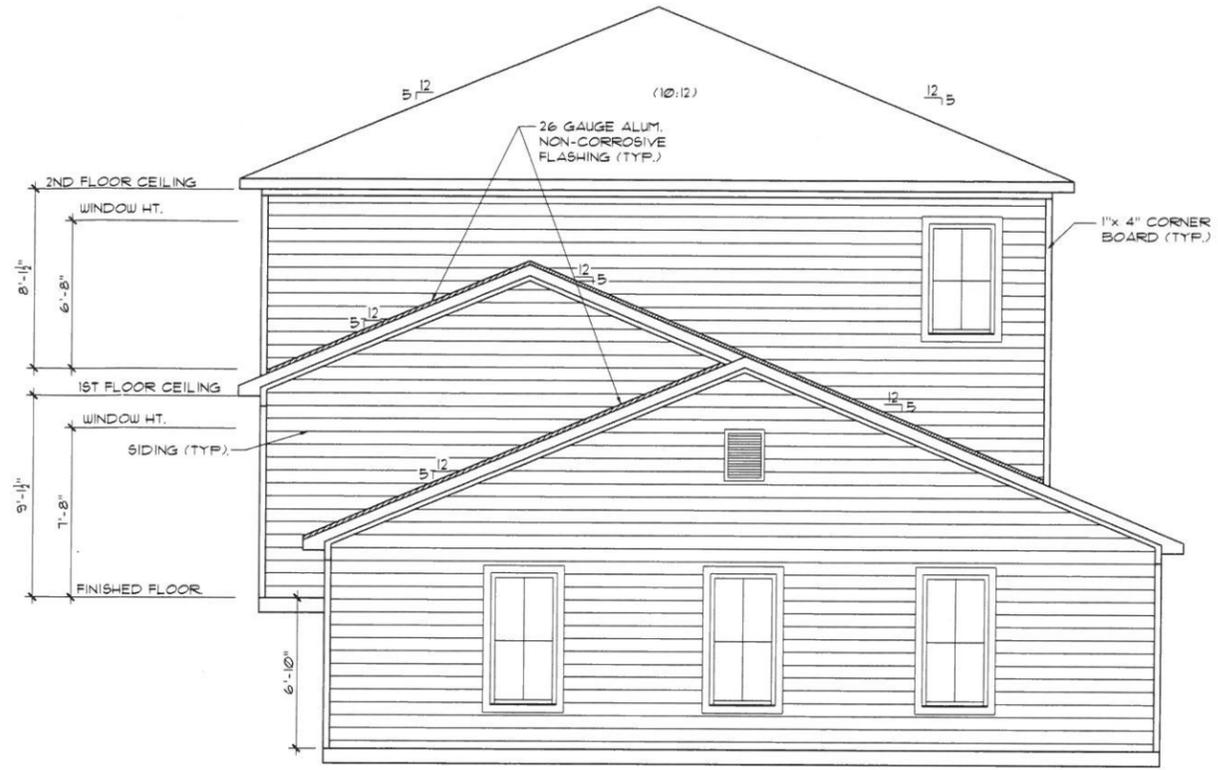
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**FRASER**  
ELEVATION: A  
SCALE: 1/8"=1'-0"





LEFT ELEVATION  
SCALE 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/8" = 1'-0"

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FOSTER AND FOSTER CREATIVE  
SOLUTIONS

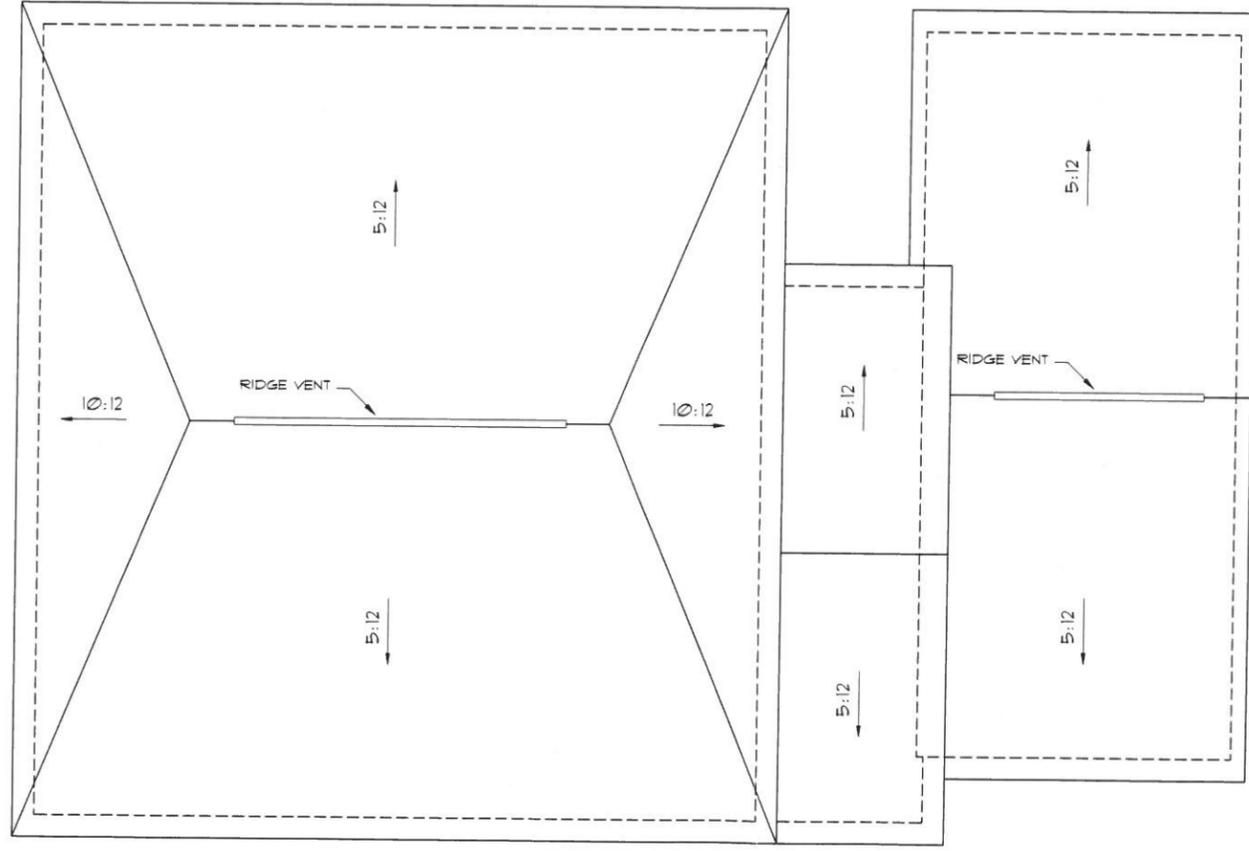


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SIDE AND REAR  
ELEVATIONS  
ROOF PLAN

2.0A



**ROOF PLAN**  
SCALE 1/8" = 1'-0"

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2.1A

ROOF PLAN

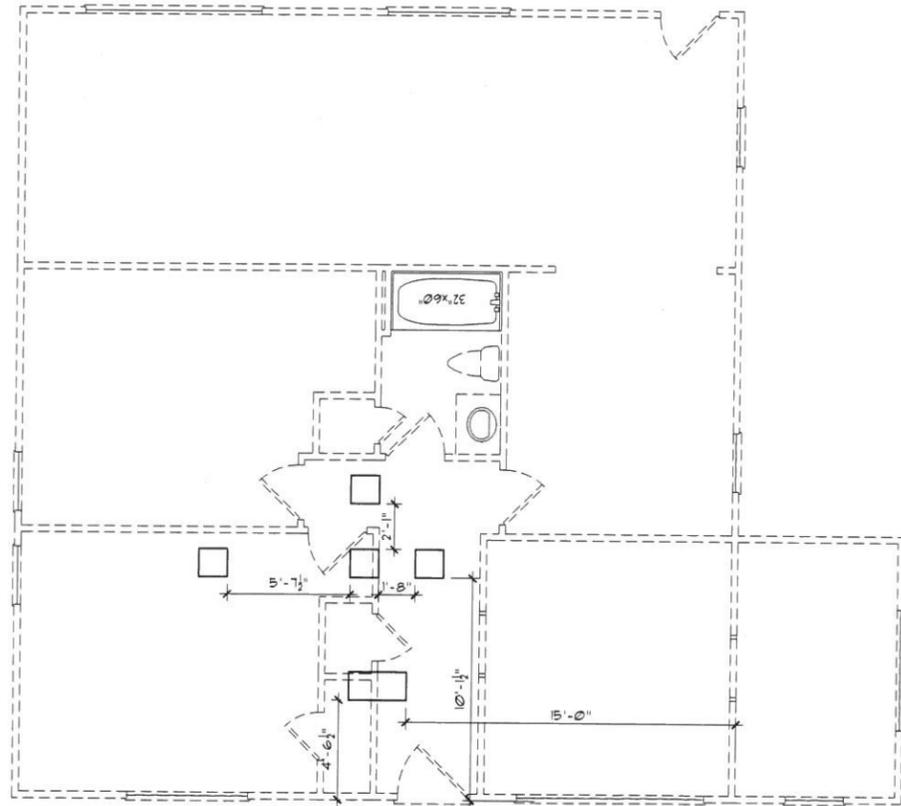
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**FRASER**

ELEVATION: A  
SCALE: 1/8" = 1'-0"





**SLAB NOTES:**

1. PLANS ARE DESIGNED TO MEET THE 2014 AND 2015 GA RESIDENTIAL CODE AMENDMENTS/ 2012 AND 2015 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
2. PRESUMPTIVE SOIL CAPACITY IS 2000
3. ALL HOUSE SLABS AND GARAGE ARE TO BE 3,000 PSI CONCRETE MINIMUM, UNLESS OTHERWISE NOTED
4. DETAILS NOTED ON PLAN ARE SHOWN IN KM HOMES DETAIL BOOK
5. ALL INTERIOR GRADE BEAMS SHALL BE SIZED TO PROVIDE NOT LESS THAN 6" OF PROJECTION ON EITHER SIDE OF THE BEARING WALL, UNLESS NOTED OTHERWISE OR SUPERCEDED BY LOCAL REQUIREMENTS
6. GRADE BEAMS SHALL BE INSTALLED WITH A TYPICAL OVERALL DEPTH, INCLUDING SLAB THICKNESS, OF NOT LESS THAN 12", UNLESS NOTED OTHERWISE, OR SUPERCEDED BY LOCAL REQUIREMENTS.
7. ALL SLABS ARE 4" CONCRETE SLAB WITH W.W.M. REINFORCED OVER 6 MIL. POLY OVER 4" COMPACTED FILL, UNLESS NOTED OTHERWISE

**STRUCTURAL NOTES:**

1. ALL FRAMING LUMBER TO BE #2 SPF UNLESS NOTED OTHERWISE.
2. ALL GIRDERS AND BEAMS ARE ENGINEERED WOOD PRODUCT (EWP) BY OTHERS, UNLESS NOTED OTHERWISE.
3. ALL POINT LOADS ARE TO BE SUPPORTED WITH (2) 2X PER END UNLESS NOTED OTHERWISE.
4. SQUARES (■) DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.

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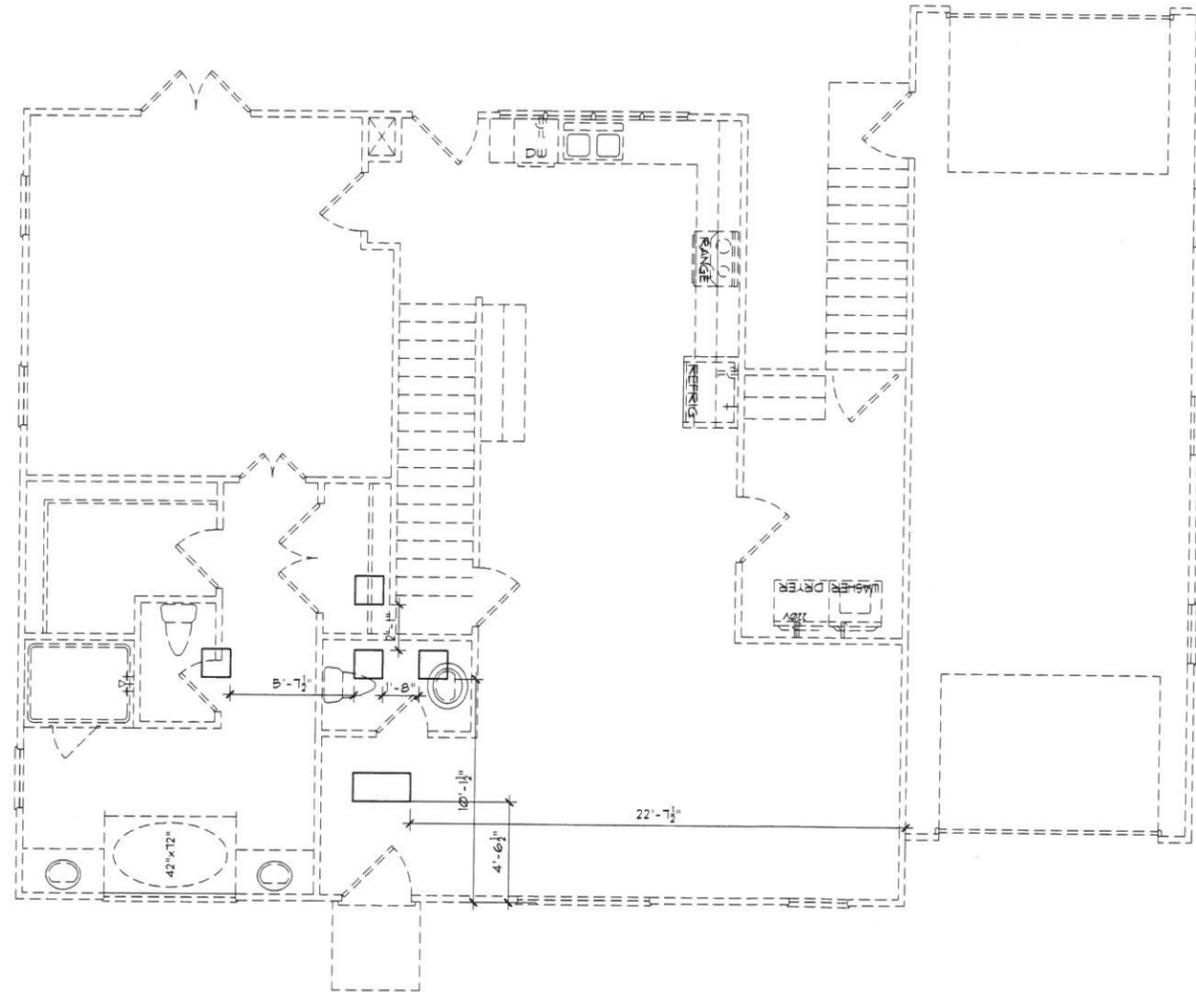
3.0A

EXISTING  
FOUNDATION PLAN

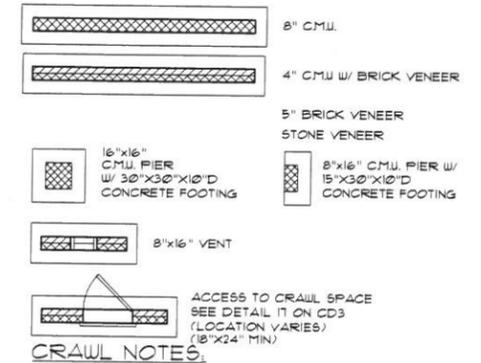
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**MASONRY WALL LEGEND**



**CRAWL NOTES:**

1. PLANS ARE DESIGNED TO MEET THE 2009 NC RESIDENTIAL CODE/ 2009 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH MUNICIPALITY.
2. PRESUMPTIVE SOIL CAPACITY IS 2000
3. ALL HOUSE SLABS AND GARAGE ARE TO BE 3,000 PSI CONCRETE MINIMUM UNLESS OTHERWISE NOTED
4. DETAILS NOTED ON PLAN ARE SHOWN IN MCCAR HOMES DETAIL BOOK.
5. ALL INTERIOR GRADE BEAMS SHALL BE SIZED TO PROVIDE NOT LESS THAN 6" OF PROJECTION ON EITHER SIDE OF THE BEARING WALL, UNLESS NOTED OTHERWISE OR SUPERCEDED BY LOCAL REQUIREMENTS
6. GRADE BEAMS SHALL BE INSTALLED WITH A TYPICAL OVERALL DEPTH, INCLUDING SLAB THICKNESS, OF NOT LESS THAN 12", UNLESS NOTED OTHERWISE, OR SUPERCEDED BY LOCAL REQUIREMENTS.
7. ALL FOUNDATIONS TO BE TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. TERMITE SOIL TREATMENTS TO BE PERFORMED AT FOUNDATION STAGE AND FINAL GRADE.
8. ALL SLABS ARE 4" CONCRETE SLAB WITH WWM. REINFORCED OVER 6 MIL. POLY OVER 4" COMPACTED FILL, UNLESS NOTED OTHERWISE.
9. ALL FOUNDATIONS INCLUDE 6 MIL POLY VAPOR BARRIER COVERING ENTIRE AREA OF CRAWL SPACE.

**VENTING CALC. STANDARDS**

8"x16" VENT = .45 SF. VENTING  
 AREA/1500 SF. = NUMBER OF VENTS REQUIRED  
 REQUIRED VENT/ .45 SF. = NUMBER OF VENTS

**VENTILATION CALCULATIONS:**

TOTAL SF. = 1379  
 1379 / 1500 = .92  
 .92 / .45 SF. = 2

**STRUCTURAL NOTES:**

1. ALL FRAMING LUMBER TO BE #2 SPF UNLESS NOTED OTHERWISE.
2. ALL GIRDERS AND BEAMS ARE ENGINEERED WOOD PRODUCT (EWP) BY OTHERS, UNLESS NOTED OTHERWISE.
3. ALL POINT LOADS ARE TO BE SUPPORTED WITH (2) 2X PER END UNLESS NOTED OTHERWISE.
4. SQUARES (■) DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.

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FOSTER AND FOSTER CREATIVE SOLUTIONS

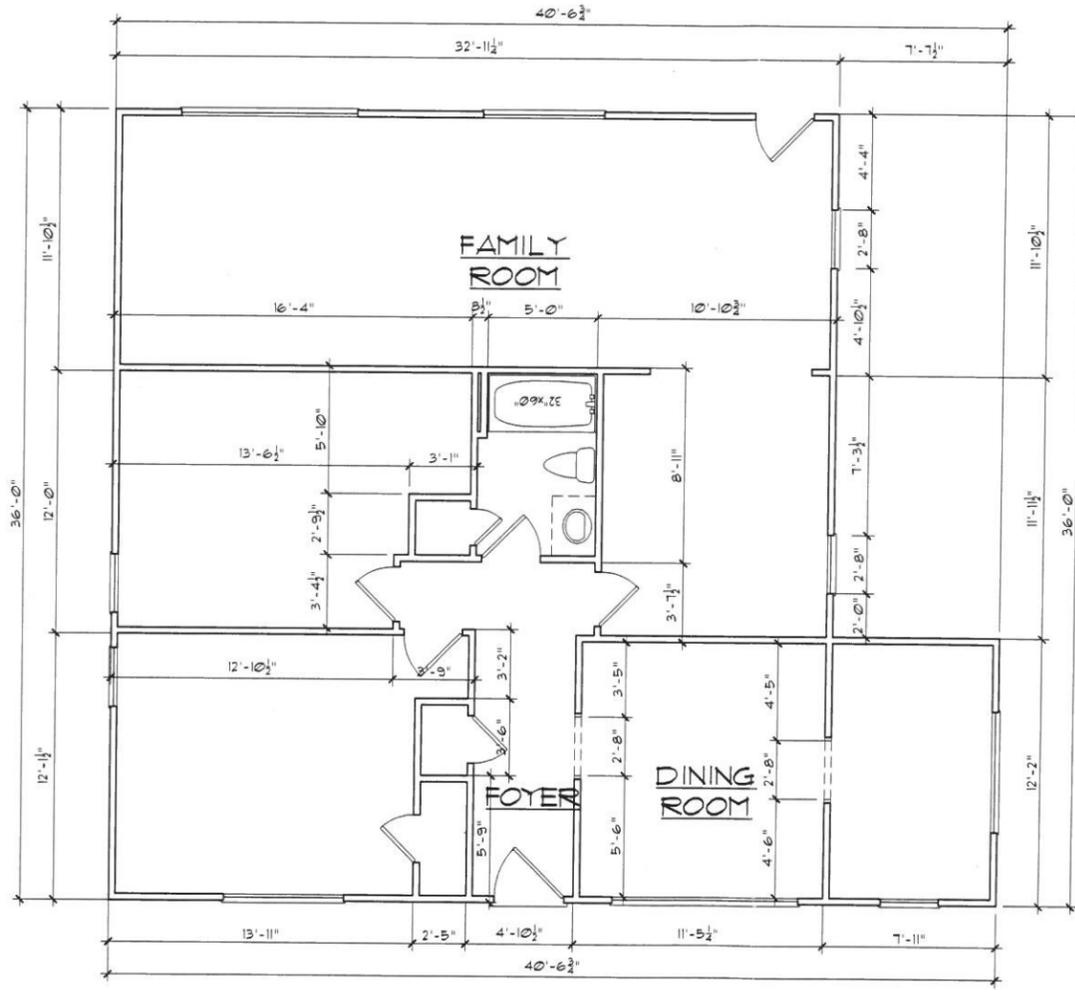


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PROPOSED  
 FOUNDATION PLAN

3.1A



**GENERAL NOTES**

1. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. WRITTEN DIMENSIONS AND NOTES SHALL CONTROL.
2. SEE ROOF PLAN AND/OR EXTERIOR ELEVATIONS FOR OVERHANG.
3. ALL INTERIOR BOX COLUMNS ARE 10"x10", UNLESS NOTED OTHERWISE.
4. ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
5. THE GARAGE IS TO BE SEPARATED FROM THE LIVING AND ATTIC SPACE BY A MINIMUM OF A 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
6. ALL DOORS ARE 4" FROM HINGED CORNER OR CENTERED, UNLESS NOTED OTHERWISE.
7. PLANS ARE DESIGNED TO MEET THE 2012 GA RESIDENTIAL CODE/ 2012 IRC WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES.

**STRUCTURAL NOTES**

1. ALL FRAMING LUMBER TO BE #2 SPF UNLESS NOTED OTHERWISE.
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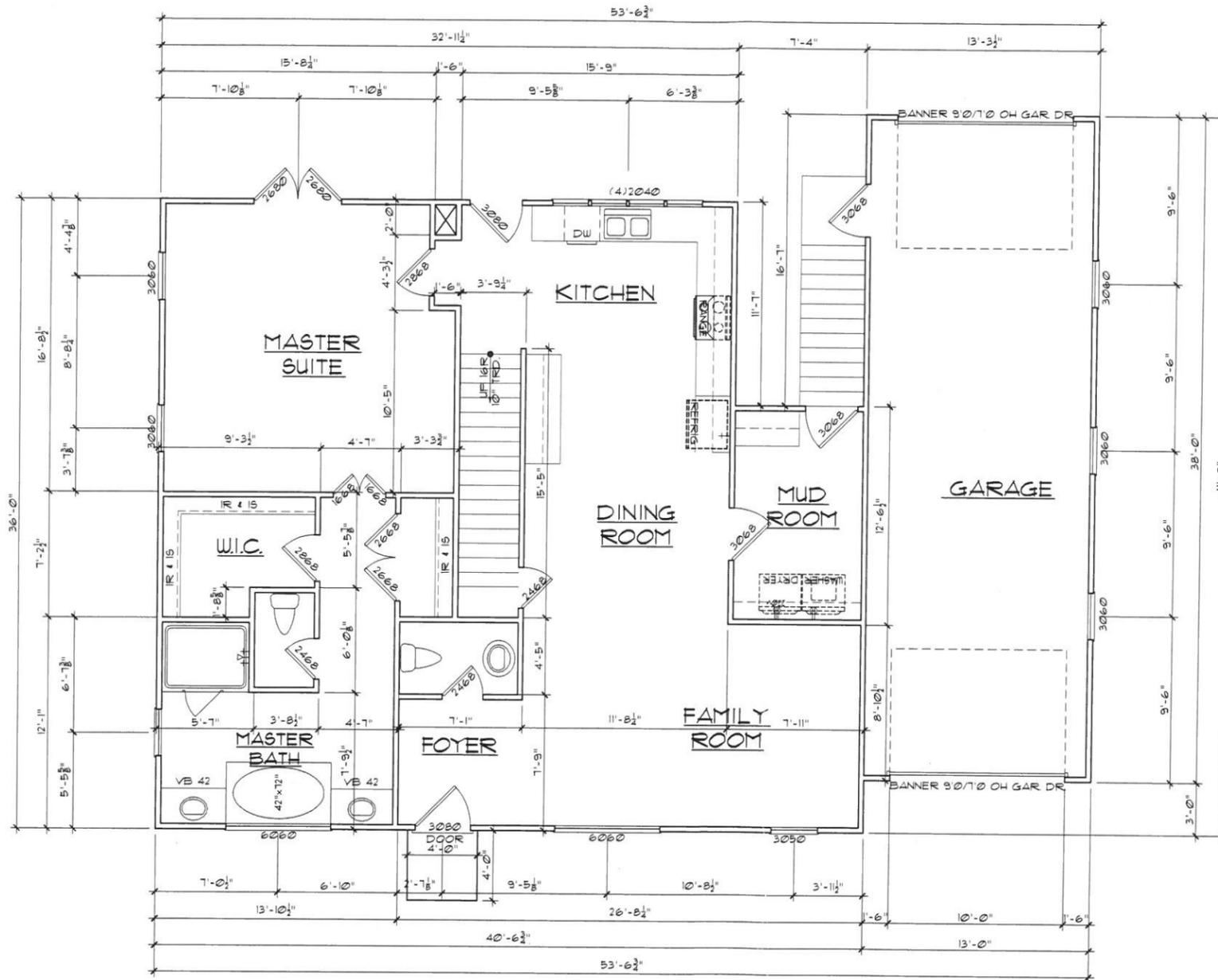
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4.0A



**GENERAL NOTES**

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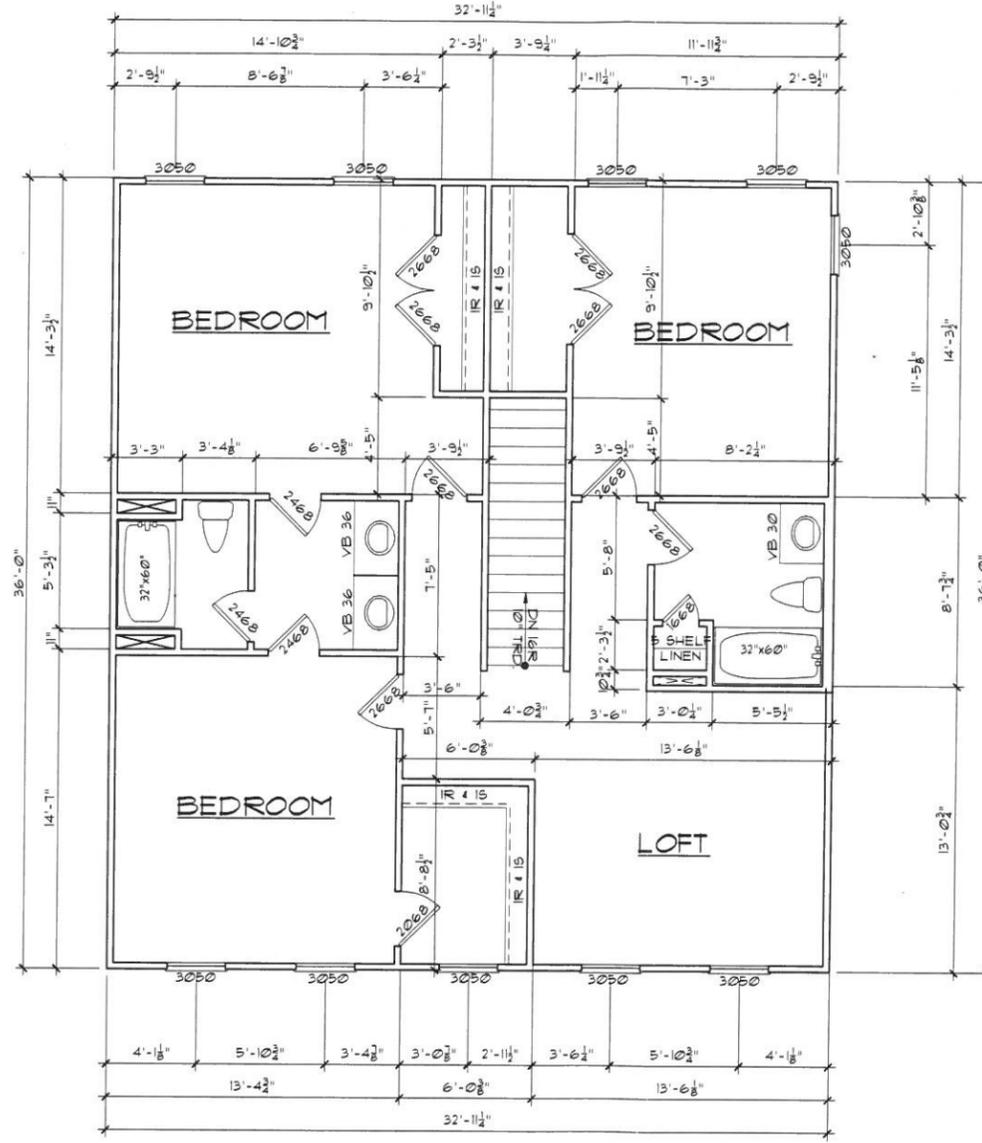
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**GENERAL NOTES**

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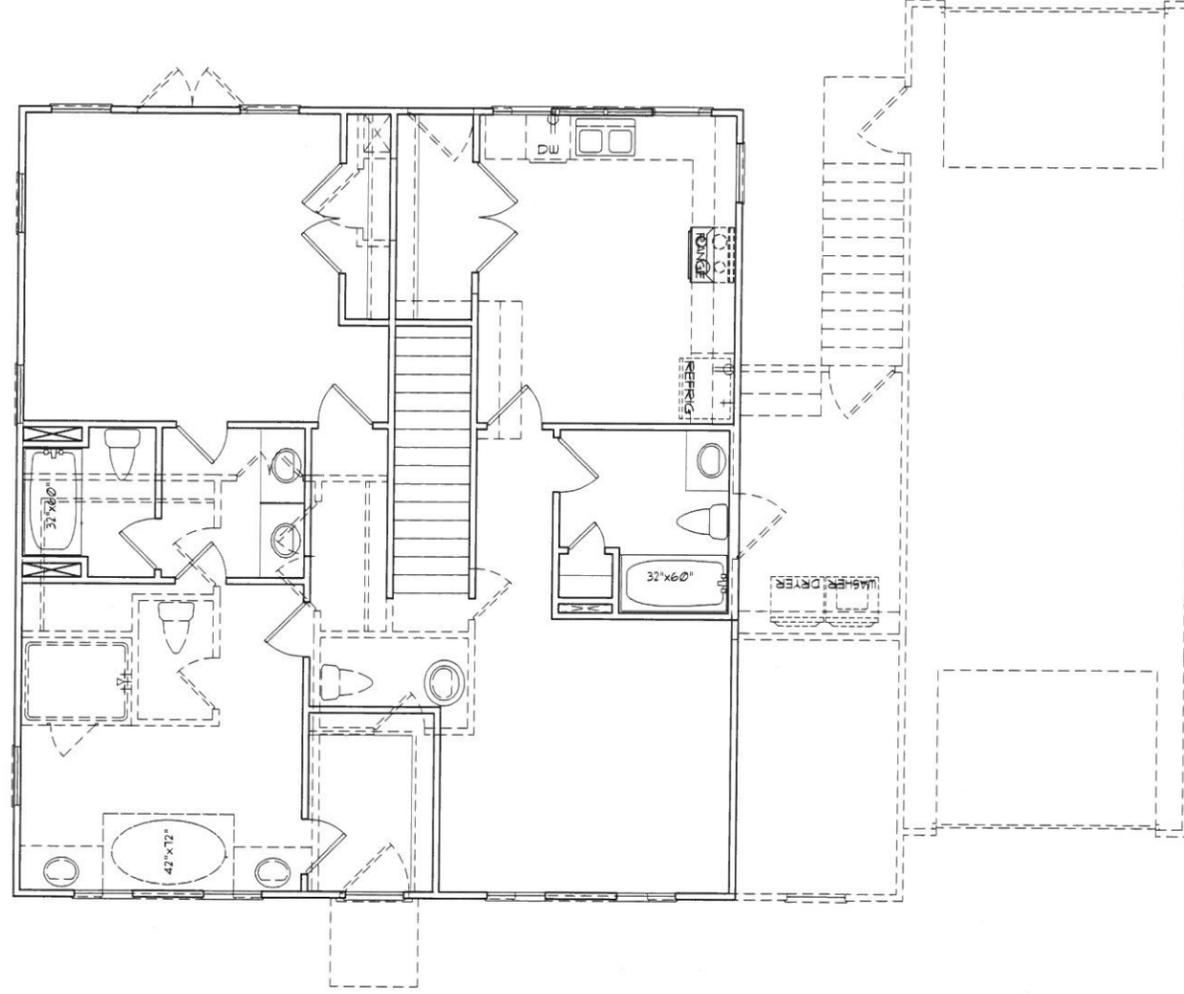
PROPOSED SECOND FLOOR PLAN

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5.0A





**GENERAL NOTES**

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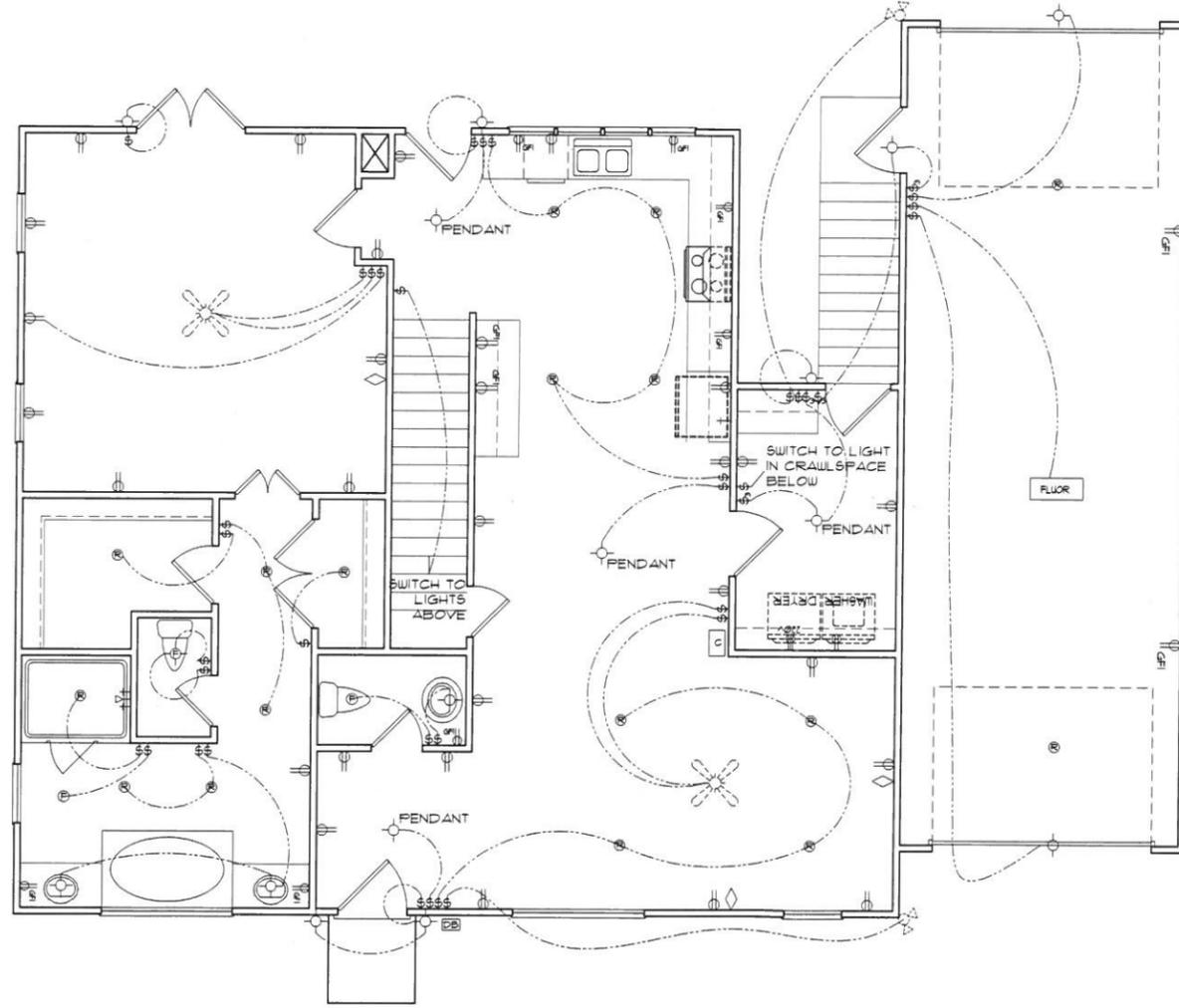
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PLAN OVERLAY

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**ELECTRICAL LEGEND**

⊠	SWITCH
⊠ <sub>3</sub>	THREE-WAY SWITCH
⊠	DUPLEX RECEPTACLE
⊠ <sub>GFI</sub>	STANDARD GFI RECEPTACLE
⊠ <sub>GFI 42"</sub>	GFI RECEPT. 42" ABOVE FINISHED FLR.
⊠ <sub>WP</sub>	WEATHERPROOF GFI RECEPTACLE
⊠ <sub>SW</sub>	SPLIT WIRED RECEPTACLE
⊠ <sub>220V</sub>	220 VOLT RECEPTACLE
▽	PHONE JACK
◇	TV OUTLET
⊙	THERMOSTAT
⊠ <sub>SD</sub>	SMOKE DETECTOR
⊠ <sub>CD</sub>	CARBON MONOXIDE DETECTOR
⊠ <sub>CLFM</sub>	CEILING LIGHT FLUSH MOUNT
⊠ <sub>CLR</sub>	CEILING LIGHT RECESSED
⊠ <sub>WML</sub>	WALL MOUNT LIGHT
⊠ <sub>D</sub>	DISPOSAL
⊠ <sub>REL</sub>	RECESSED EYEBALL LIGHT
⊠ <sub>EF</sub>	EXHAUST FAN
⊠ <sub>FLC</sub>	FAN / LIGHT COMBO
⊠ <sub>CF</sub>	CEILING FAN w/ LIGHT KIT
⊠ <sub>PF</sub>	STANDARD PREWIRE OPTIONAL CEILING FAN / LIGHT FIXTURE
⊠ <sub>FL</sub>	FLOODLIGHT
⊠ <sub>GB</sub>	GARAGE DOOR BUTTON
FLUOR	85"x24" FLUORESCENT LIGHT FIXTURE
FLUOR	525"x24" FLUORESCENT LIGHT FIXTURE
—	ELECTRICAL WIRE
FB	FLOOR BREAK
⊠ <sub>DC</sub>	DOOR CHIME
⊠ <sub>DB</sub>	DOOR BELL

**ELECTRICAL NOTES:**

1. ELECTRICAL CONTRACTOR TO PLACE STANDARD WALL OUTLETS AND SMOKE DETECTORS PER LOCAL CODE.
2. ALARM PADS TO BE PLACED BY CONTRACTOR.
3. PRE WIRE STANDARD FOR GARAGE DOOR OPENERS.
4. ELECTRICAL CONTRACTOR TO PLACE DISHWASHER SWITCH PER LOCAL CODE.
5. 220V OUTLET FOR STOVE AND DRYER PER COMMUNITY SPEC.

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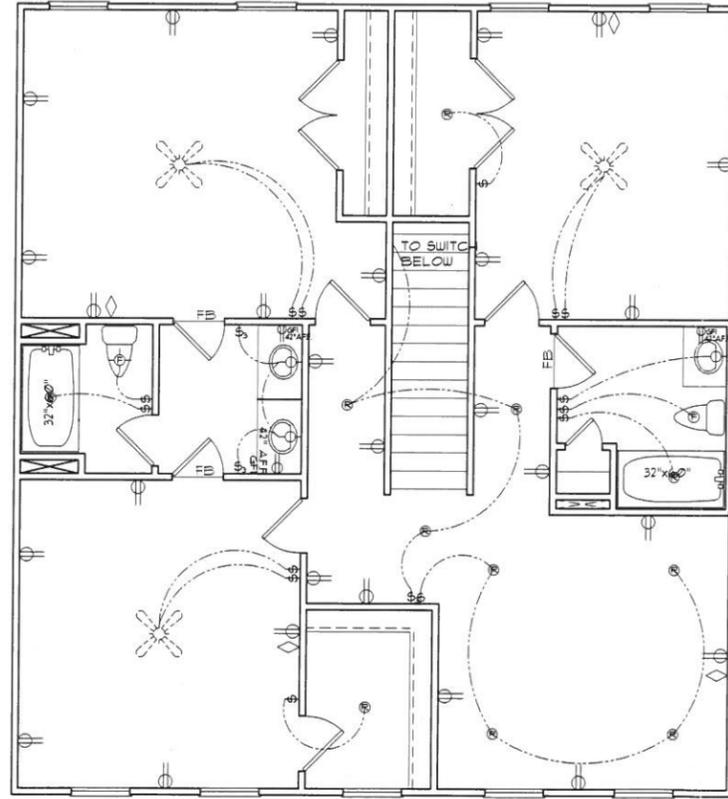
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FIRST FLOOR  
ELECTRICAL PLAN

E1.0A

FOSTER AND FOSTER CREATIVE SOLUTIONS



**ELECTRICAL LEGEND**

- Ⓢ SWITCH
- Ⓢ<sub>3</sub> THREE-WAY SWITCH
- ⓈⓈ DUPLEX RECEPTACLE
- ⓈⓈ<sub>GFI</sub> STANDARD GFI RECEPTACLE
- ⓈⓈ<sub>GFI</sub> 42" ABOVE FINISHED FLR
- ⓈⓈ<sub>WP</sub> WEATHERPROOF GFI RECEPTACLE
- ⓈⓈ<sub>SW</sub> SPLIT WIRED RECEPTACLE
- ⓈⓈ<sub>220V</sub> 220 VOLT RECEPTACLE
- ▽ PHONE JACK
- ◇ TV OUTLET
- Ⓢ THERMOSTAT
- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- Ⓢ CEILING LIGHT FLUSH MOUNT
- Ⓢ CEILING LIGHT RECESSED
- Ⓢ WALL MOUNT LIGHT
- Ⓢ DISPOSAL
- Ⓢ RECESSED EYEBALL LIGHT
- Ⓢ EXHAUST FAN
- Ⓢ FAN / LIGHT COMBO
- Ⓢ CEILING FAN w/ LIGHT KIT
- Ⓢ STANDARD PREWIRE  
OPTIONAL CEILING FAN / LIGHT FIXTURE
- Ⓢ FLOODLIGHT
- Ⓢ GARAGE DOOR BUTTON
- FLUOR 85"x24" FLUORESCENT LIGHT FIXTURE
- FLUOR 5.25"x24" FLUORESCENT LIGHT FIXTURE
- Ⓢ ELECTRICAL WIRE
- FB FLOOR BREAK
- Ⓢ DOOR CHIME Ⓢ DOOR BELL

**ELECTRICAL NOTES:**

1. ELECTRICAL CONTRACTOR TO PLACE STANDARD WALL OUTLETS AND SMOKE DETECTORS PER LOCAL CODE.
2. ALARM PADS TO BE PLACED BY CONTRACTOR.
3. PRE WIRE STANDARD FOR GARAGE DOOR OPENERS.
4. ELECTRICAL CONTRACTOR TO PLACE DISHWASHER SWITCH PER LOCAL CODE.
5. 220V OUTLET FOR STOVE AND DRYER PER COMMUNITY SPEC.

FOSTER AND FOSTER CREATIVE SOLUTIONS

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E2.0A

SECOND FLOOR  
ELECTRICAL PLAN

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