

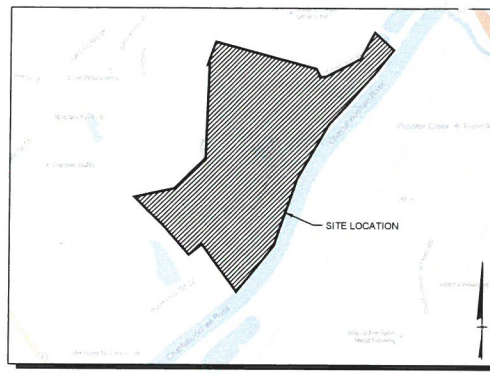
SITE DATA	
SITE AREA	61,864 ACRES
ZONING	
EXISTING ZONING	CONDITIONAL MU
PROPOSED ZONING	CONDITIONAL MU
ZONING JURISDICTION	CITY SMYRNA, GEORGIA
USE CALCULATIONS	
TOTAL SITE AREA	61,864 ACRES
POD A1-A2 & B- 18,129 ACRES	194 TOTAL UNITS
4-STORY MULTIFAMILY PROVIDED	124 UNITS
POD A2	
24 TOWNHOMES (REAR LOADED)	35 UNITS
POD B	
24 TOWNHOMES (REAR LOADED)	14 UNITS
24 TOWNHOMES (FRONT LOADED)	21 UNITS
POD C1 & C2- 29,797	
24 x 54 TOWNHOMES (REAR LOADED)	72 UNITS
24 x 54 TOWNHOMES (FRONT LOADED)	57 UNITS
GUEST PARKING PROVIDED	42 SPACES
POD D- 6,047 ACRES	
4-5 STORY MULTIFAMILY PROVIDED	146 UNITS
POD E - 9,891 ACRES	
22 TOWNHOMES (REAR LOADED)	73 UNITS
GUEST PARKING PROVIDED	18 SPACES
TOTAL RESIDENTIAL UNITS PROPOSED	
TOTAL DENSITY PROPOSED	8.78 UNITS/ACRE
SETBACK & SEPERATION REQUIREMENTS	
FRONT YARD (FROM RIVERVIEW ROAD)	10 FEET
PROPERTY SIDE YARD	5 FEET
PROPERTY REAR YARD	5 FEET
TOWNHOME SEPERATION	
REAR TO REAR	25 FEET
FRONT TO SIDE/REAR	20 FEET
SIDE TO SIDE	10 FEET
REAR TO SIDE	20 FEET

- SITE NOTES:**
- ROADS TO BE PUBLIC AND ARE 24'/26' WIDE WITH EITHER A 44 WIDE OR 50' ACCESS AND UTILITY EASEMENT ALLEYS TO BE PRIVATE AND ARE 16'/20' WIDE WITH 30'/34' ACCESS AND UTILITY EASEMENT
 - SIDEWALK TO BE PROVIDED ON MINIMUM OF ONE SIDE OF THE ROADS

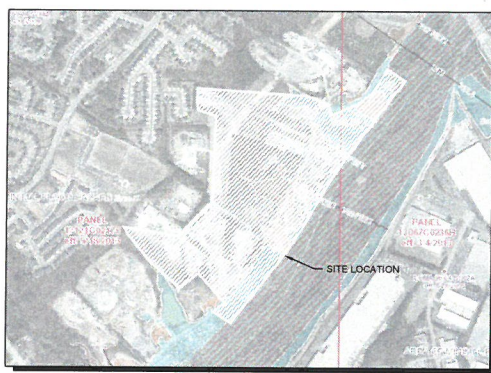
WATER QUALITY/STORMWATER APPROACH

STORMWATER APPROACH FROM PAST STUDIES WE ANTICIPATE THAT THE SITE WILL NOT HAVE DETENTION STORED ON THE SITE. BUT THE PEAK OF THE CHATTAHOOCHEE BASIN WILL REQUIRE US TO RELEASE OUR STORMWATER AFTER TREATING IT FOR WATER QUALITY AND HOLD IT BACK FOR DETENTION. A FLOOD STUDY WOULD BE PERFORMED TO DETERMINE THIS.

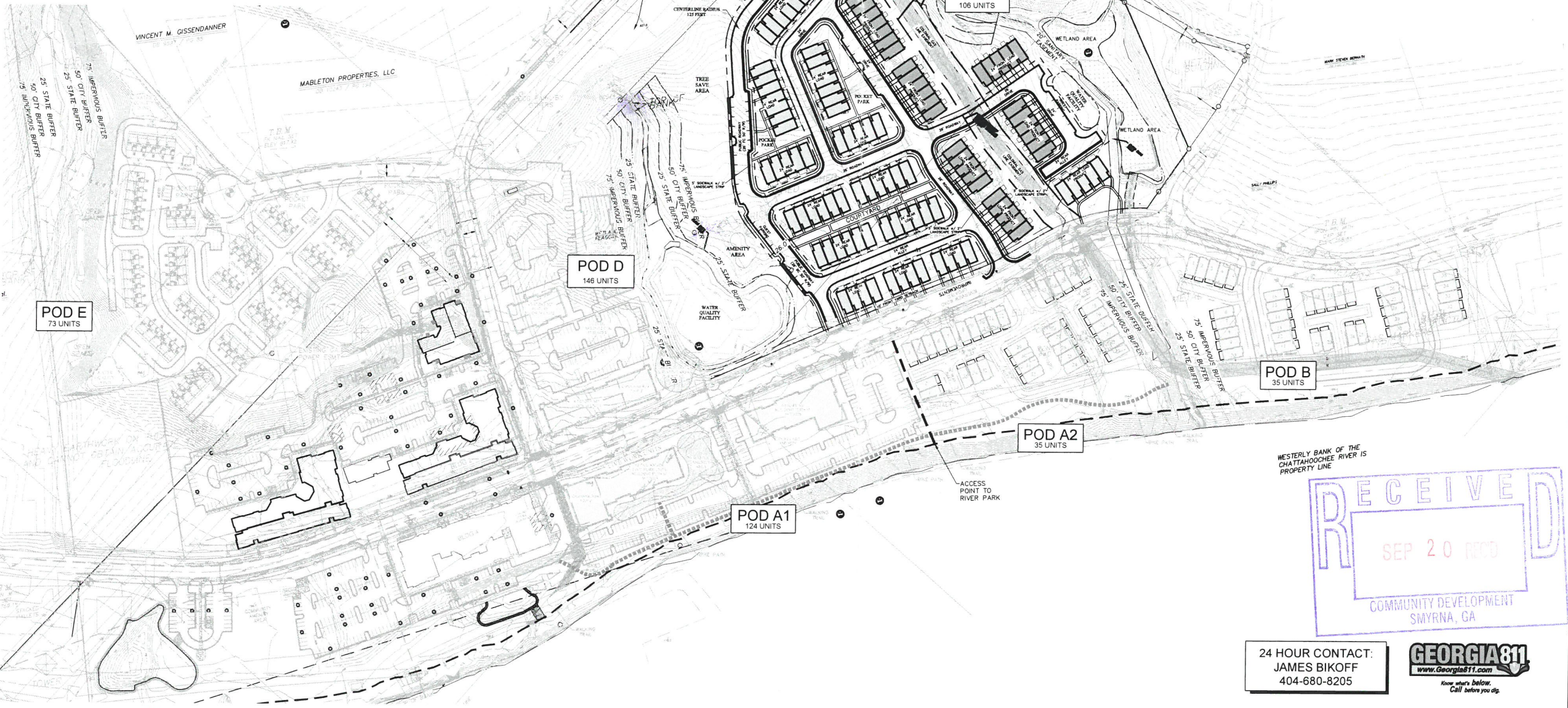
WATER QUALITY THERE WILL BE THREE DIFFERENT LOCATIONS TO HAVE ABOVE GROUND BIO-RETENTION AREAS ON THE SITE. THOSE AREAS WILL TREAT THE IMPERVIOUS FOR RUNOFF FROM THE FIRST 1.2" OF RAINFALL. THE EXISTING STORMWATER POND WAS CONSTRUCTED TO TAKE CARE OF ADDITIONAL WATER QUALITY AREAS ON THIS SITE AS WELL. THE DISCHARGE INTO THAT POND WILL BE EQUAL OR LESS THAN THE APPROVED STUDY WHEN THE LAKE WAS CONSTRUCTED. IN ADDITION TO THAT POND AND THE BIO RETENTION AREAS, THE SITE WILL NEED AT LEAST ONE UNDERGROUND LARGE DIAMETER PIPE WITH STONE FOR INFILTRATION TO HELP TREAT WATER QUALITY ON THE NORTHEASTER SIDE OF THE SITE BEFORE IT TIES INTO RIVERVIEW ROAD.



SITE LOCATION MAP
NOT TO SCALE



FEMA FIRM MAP
NOT TO SCALE



RIVERVIEW LANDING

A MASTER PLANNED RESIDENTIAL DEVELOPMENT AT CHATTAHOOCHEE RIVER

FOR
ARDENT COMPANIES, LLC
ATLANTA, GEORGIA 30339
SUITE 350
2100 POWERS FERRY ROAD
PHONE: 770-519-7424

LAND LOT B1, 171, 172, 174, 175 & 284
18TH DISTRICT

OTY OF SMYRNA
COLUMBIA COUNTY
GEORGIA

"WE PROVIDE SOLUTIONS"

PLANNERS AND ENGINEERS COLLABORATIVE

SITE PLANNING, LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & LAND SURVEYING
350 RESEARCH COURT # PEACHTREE CORNERS, GEORGIA 30092 # (770) 451-2741 # FAX (770) 451-3915

REVISIONS:

NO	DATE	BY	DESCRIPTION
*1	07/10/2018	kw	Updated SF Layout
*2	09/15/2019	kw	Rev Layout/Staff Cmts

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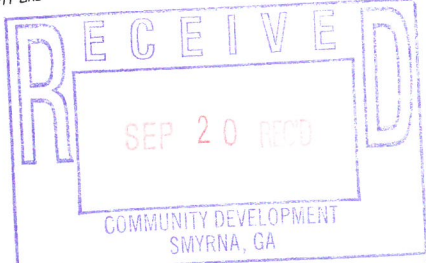
CONCEPTUAL SITE PLAN

SCALE: 1" = 120'
DATE: JANUARY 24, 2019
PROJECT: 08031.00C

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/28/2021



24 HOUR CONTACT:
JAMES BIKOFF
404-680-8205



C55
SHEET

Riverview Landing - Phase I

A LAND ENHANCEMENT AND GRADING PERMIT
Phase I Activation for Master Planned Community at Chattahoochee River

FOR

Marthasville Development
9775 Hunt Club Way
Alpharetta, Georgia 30022
404-918-0333

Green Street / Jamestown Properties
999 Peachtree Street NE
Suite 1925
Atlanta, Georgia 30309
Phone: 404-835-8223

PREPARED BY:

PLANNERS AND ENGINEERS COLLABORATIVE
SITE PLANNING ■ LANDSCAPE ARCHITECTURE ■ CIVIL ENGINEERING ■ LAND SURVEYING
350 RESEARCH COURT ■ NORCROSS, GEORGIA 30092 ■ (770)451-2741 ■ FAX (770)451-3915 ■ WWW.PECCATL.COM



Riverview Landing - PHASE I
A Master Planned Mixed Use Community at Chattahoochee River
FOR
Marthasville Development
9775 Hunt Club Way
Alpharetta, Georgia 30022
404-918-0333
LAND LOT 171, 172, 175, & 284
18th DISTRICT
COBB COUNTY
GEORGIA
WE PROVIDE SOLUTIONS
PLANNERS AND ENGINEERS COLLABORATIVE
SITE PLANNING ■ LANDSCAPE ARCHITECTURE ■ CIVIL ENGINEERING ■ LAND SURVEYING
350 RESEARCH COURT ■ NORCROSS, GEORGIA 30092 ■ (770)451-2741 ■ FAX (770)451-3915 ■ WWW.PECCATL.COM

LANDSCAPE NOTE:

1. A PRECONSTRUCTION LANDSCAPE CONFERENCE IS REQUIRED FOR THIS PROJECT. CALL THE COBB COUNTY ARBORIST AT (770) 528-2124 OR LANDSCAPE ARCHITECT AT (770) 528-2149. THERE ARE CRITICAL FACTORS ON THE LANDSCAPE PLAN THAT AFFECT BOTH THE GENERAL CONTRACTOR AND THE LANDSCAPE CONTRACTOR: PLANTING AREA DIMENSIONS, PLANTING METHODS AND AS WELL AS PLANT MATERIALS MUST BE IN ACCORDANCE WITH THE APPROVED PLAN, OR THE LANDSCAPE INSPECTOR MAY DELAY THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.

GENERAL NOTES:

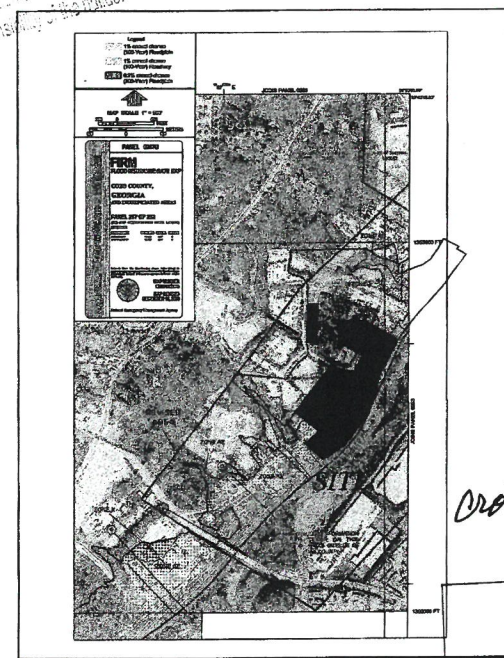
1. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
2. THE EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN PREPARED FROM THE INFORMATION AVAILABLE TO THE ENGINEER AND MAY NOT BE ACCURATE TO EXTENT OR LOCATIONS. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL NOTIFY UTILITIES AND THEN MARK OR REMARK THEIR FACILITIES.
3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING VEGETATION WHICH DOES NOT UNREASONABLY INTERFERE WITH CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, REFERENCE POINTS AND STAKES.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF ALL MATERIALS AND THE EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH THE STATE, AND LOCAL CODES, RULES, AND REGULATIONS.
6. DETENTION FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
7. TESTING SHALL BE DONE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
8. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH SECTION 7 OF THE MANUAL OF ACCIDENT PROTECTION IN CONSTRUCTION AS PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, OSHA, AND THE LOCAL REGULATIONS.
9. CLEAN-OUTS WILL BE PROVIDED AT ALL TURNING POINTS ON LATERAL LINES.
10. ALL WALLS SHOWN ARE TO BE CONCRETE. ALL WALLS 30 INCHES IN HEIGHT OR GREATER SHALL HAVE PROTECTING RAIL FOR WALLS OVER 12 FEET IN HEIGHT, THE CLIENT SHALL BE RESPONSIBLE FOR WALL STRUCTURAL DESIGN, DETAILS, CALCULATIONS, APPROVALS, PERMITS, FEES, INSPECTIONS AND CERTIFICATIONS REQUIRED BY THE GOVERNING AUTHORITY.
11. ALL STAIRWAYS HAVING MORE THAN THREE (3) RISERS ABOVE A FLOOR OR GRADE SHALL BE EQUIPPED WITH HANDRAILS LOCATED NOT LESS THAN 34 INCHES (34") NOR MORE THAN 38 INCHES (38") ABOVE THE LEADING EDGE OF A TREAD. EXCEPTION: HANDRAILS THAT FORM PART OF A GUARDRAIL MAY BE 42 INCHES (42") HIGH.
12. ALL WALL TOPS TO BE SIX INCHES (6") ABOVE GRADE UNLESS OTHERWISE NOTED.
13. MAXIMUM CUT OR FILL SLOPES: 2H: 1V. SLOPES STEEPER THAN 2.5: 1 AND WITH A HEIGHT OF 10' OR GREATER AND CUTS AND FILLS WITHIN STREAM BUFFERS SHALL BE STABILIZED WITH APPROPRIATE MATTING OR BLANKETS.
14. INDICATED GRADES ARE FINISHED GRADES.
15. ALL PARKING LOTS ARE MEASURED FROM FACE OF CURB TO FACE OF CURB.
16. ALL WATER VALVES TO BE THE SAME SIZE AS INDICATED WATER LINES.
17. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN RIGHT-OF-WAY, AND MUST BE STORED WITHIN THE SITE.

SITE INFORMATION:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY PLANNERS & ENGINEERS COLLABORATIVE, INC. BOUNDARY AND TOPOGRAPHIC SURVEY DATED JANUARY 21, 2009.
2. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR COBB COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBERS 13067C0217G AND 13067C0236G, PANELS 217 AND 236 OF 252, EFFECTIVE DATE DECEMBER 16, 2008 AND FOUND PORTIONS OF THE PROPERTY SHOWN HEREON TO FALL WITHIN DESIGNATED FLOOD ZONE "AE" (AREAS OF 100 YEAR FLOOD) AND ZONE "X" (AREAS OF 500 YEAR FLOOD AND 100 YEAR FLOOD WITH CONDITIONS). THE LOCATION OF THE ZONE X LINE IS BASED ON THE ELEVATIONS LISTED ON THE PANEL IN ADDITION TO FIELD RUN TOPOGRAPHIC INFORMATION. THE LOCATION OF THE ZONE X LINE IS APPROXIMATE BASED ON A SCANNED IMAGE OF THE FEMA PANEL.
3. THIS SITE IS TIED TO COBB COUNTY BENCHMARKS BM180285-01 (ELEVATION 774.385) AND BM180060-1 (ELEVATION 772.435), NORTH AMERICAN DATUM OF 1983 (NAD83), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEORGIA WEST ZONE STATE PLANE COORDINATES.
4. PROPERTY IS ZONED P.V.C. SEE SHEET 2A-2D.
5. TOTAL SITE AREA IS 40.77 ACRES. TOTAL DISTURBED AREA IS 22.14 ACRES.

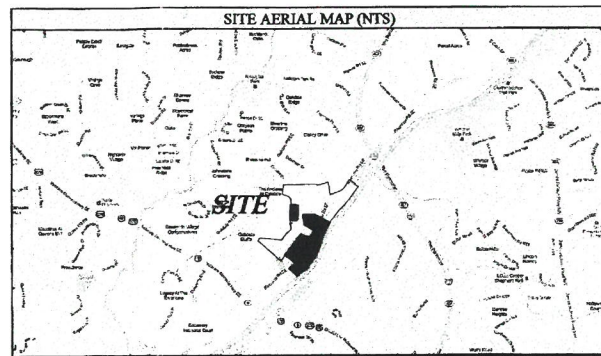
COBB COUNTY WATER AND SEWER NOTES

1. ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO COBB COUNTY STANDARDS AND SPECIFICATIONS.
2. ALL SEWER EASEMENTS MUST BE DRESSED AND GRASSED TO CONTROL EROSION PRIOR TO ACCEPTANCE. TREES SHALL NOT BE PLANTED IN THE PERMANENT EASEMENT AREA.
3. TRANSITION JOINTS BETWEEN SANITARY SEWER PIPES OF DIFFERENT MATERIALS SHALL BE ACCOMPLISHED BY THE USE OF ADAPTERS. CONCRETE COLLARS ARE NOT ACCEPTABLE.
4. LOW PRESSURE AIR TESTING REQUIRED FOR ALL SANITARY SEWER SYSTEMS. THIS TEST MUST MEET ALL OF THE REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.
5. A 0.20 FOOT FALL ACROSS ALL SANITARY SEWER MANHOLES IS REQUIRED.
6. ALL SEWER MANHOLES ARE TO BE SUPPLIED PRE-CAST WITH NO MORE THAN FOUR (4) HOLES PER SECTION.
7. NOTIFY INSPECTOR 24-HOURS PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR TO VERIFY THE LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING SEWER.
9. ALL SANITARY SEWER LATERALS TO BE WYES.
10. EIGHT (8") INCH PVC PIPE MAY BE USED, EXCEPT AS NOTED ON THE SANITARY SEWER PROFILES. INSTALLATION SHALL BE IN ACCORDANCE WITH THE COBB COUNTY STANDARDS.
11. ALL 8" WATER LINES TO BE DIP.
12. ALL WATER LINES LESS THAN 4" TO BE COPPER.
13. PROPOSED FIRE HYDRANTS TO BE MAH.



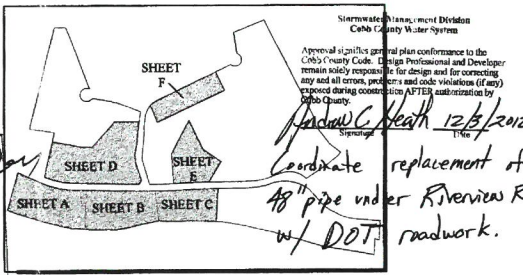
FEMA FIRM MAP
PANELS 13067C0217G & 13067C0236G

Grading Only
Revision
Pending GDOT Permit



SITE LOCATION MAP
NOT TO SCALE

SHEET LAYOUT LEGEND:



SHEET INDEX:

SHEET	DESCRIPTION
SHEET CS	COVER SHEET
SHEET SURVEY	BOUNDARY AND TOPOGRAPHIC SURVEY
SHEET # 1.0-1.1	STANDARD SPECIFICATIONS
SHEET # 2-2D	ZONING CONDITIONS
SHEET # 3	DEMOLITION PLAN
SHEET # 4	SITE PLAN
SHEET # 5	MASTER GRADING PLAN
SHEET # 5A-5F	GRADING PLAN BLOW UP SHEETS
SHEET # 5G	MASTER FLOOD ANALYSIS & EARTHWORKS PLAN
SHEET # 6	MASTER UTILITY PLAN
SHEET # 6A-6E	UTILITY PLAN BLOW UP SHEETS
SHEET # ESC-1A-2C	INITIAL EROSION AND SEDIMENT CONTROL PLAN
SHEET # ESC-3A-3C	INTERMEDIATE EROSION AND SEDIMENT CONTROL PLAN
SHEET # ESC-4A-4C	FINAL EROSION AND SEDIMENT CONTROL PLAN
SHEET # ESC-5-16	EROSION AND SEDIMENT CONTROL DETAILS & MONITORING
SHEET # SS1-SS3	SANITARY SEWER PROFILES
SHEET # STM1	STORM SEWER PROFILES AND PIPE CHART
SHEET # OCS1-OCS3B	OUTLET CONTROL STRUCTURE AND POND DETAILS
SHEET # D1-D4	CONSTRUCTION DETAILS
SHEET # TPR1-TPR4	TREE LOCATION PLAN

COBB DOT NOTE:

THIS PERMIT IS FOR GRADING AND STORMWATER TREATMENT ONLY. THE DEVELOPER IS PROCEEDING WITHOUT COORDINATION ON THE PROPOSED DOT RIVERVIEW ROAD IMPROVEMENTS. THE DEVELOPER ACKNOWLEDGES ANY CONFLICTS WILL BE THE DEVELOPER'S RESPONSIBILITY TO MAKE CORRECTIONS WITHOUT COMPENSATION. THE DOT ROAD PROJECT WILL TAKE PRECEDENCE IF CONSTRUCTION CONFLICTS OCCUR.

DOT UTILITY PERMITS MAY TAKE UP TO 2 WEEKS FOR REVIEW AND APPROVAL.

CERTIFICATION STATEMENT:

I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of Best Management Practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003.

Kenneth J. Wood PE
Level II Certification No.0000059389

Walter Brown
Date Exp. 10/27/2015

I certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my direct supervision.

Kenneth J. Wood PE
Level II Certification No.0000059389

Walter Brown
Date Exp. 10/27/2015

SEE SHEET ECS 6 FOR DESIGN PROFESSIONAL CERTIFICATION STATEMENT

SEE SHEET ECS 6 FOR NPDES EROSION AND SEDIMENT CONTROL CHECKLIST

SEE SHEET ECS 6 FOR DESIGN PROFESSIONAL SITE VISIT CERTIFICATION

DRAWING LEGEND:

DESCRIPTION	SYMBOL
FINISHED FLOOR ELEVATION	FF 981.67
PROPOSED SPOT ELEVATION	980.25 +
SILT FENCE	[Symbol]
DRAINAGE SIMILE	[Symbol]
DIRECTION OF SLOPE	[Symbol]
EXISTING CONTOUR	982
PROPOSED CONTOUR	982
EXISTING WATER MAIN	[Symbol]
PROPOSED WATER MAIN AND SIZE	[Symbol]
PROPOSED WATER SERVICE LINE AND SIZE	[Symbol]
EXISTING WATER VALVE	[Symbol]
PROPOSED WATER VALVE	[Symbol]
EXISTING WATER METER	[Symbol]
EXISTING FIRE HYDRANT	[Symbol]
PROPOSED FIRE HYDRANT WITH VALVE	[Symbol]
PROPOSED HOSE BIBB	[Symbol]
EXISTING SANITARY SEWER LINE	[Symbol]
PROPOSED SANITARY SEWER LINE	[Symbol]
EXISTING SANITARY SEWER MANHOLE	[Symbol]
PROPOSED SANITARY SEWER MANHOLE	[Symbol]
EXISTING STORM SEWER LINE	[Symbol]
PROPOSED STORM SEWER LINE	[Symbol]
EXISTING SINGLE WING CATCH BASIN	[Symbol]
PROPOSED SINGLE WING CATCH BASIN	[Symbol]
EXISTING DOUBLE WING CATCH BASIN	[Symbol]
PROPOSED DOUBLE WING CATCH BASIN	[Symbol]
EXISTING JUNCTION BOX	[Symbol]
PROPOSED JUNCTION BOX	[Symbol]
EXISTING DROP INLET OR YARD INLET	[Symbol]
PROPOSED DROP INLET OR YARD INLET	[Symbol]
PROPOSED DROP INLET W/CONCRETE APRON @ CORNER OF CURB	[Symbol]
EXISTING WEIR INLET	[Symbol]
PROPOSED WEIR INLET	[Symbol]
EXISTING HOODED GRATE CURB INLET	[Symbol]
PROPOSED HOODED GRATE CURB INLET	[Symbol]
EXISTING HEADWALL	[Symbol]
PROPOSED HEADWALL	[Symbol]
CONCRETE WALL	[Symbol]
"MESA TYPE" WALL	[Symbol]
TOP OF WALL ELEVATION	[Symbol]
TYPICAL WALL LABELS	[Symbol]

CONTRACTOR NOTES:

1. PRIOR TO THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR. CALL 770-528-2038 TO CONTACT THE INSPECTOR.
2. IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

SUBMIT AS-BUILT DRAWINGS OF THE STORM DRAIN PIPE SYSTEM / STORMWATER FACILITIES TO COBB COUNTY STORMWATER MANAGEMENT AT THE COMPLETION OF CONSTRUCTION

THE COBB COUNTY CEMETERY PRESERVATION COMMISSION RESERVES THE RIGHT TO EXAMINE THIS PROPERTY FOR ETHNIC, CULTURAL AND RELIGIOUS EVIDENCE LOCATED THEREIN. IF ANY ETHNIC, CULTURAL OR RELIGIOUS EVIDENCE IS FOUND DURING DEVELOPMENT, THEN THE COBB COUNTY CEMETERY PRESERVATION COMMISSION MUST BE NOTIFIED AT ONCE AT (770) 528-2035. FAILURE TO DO SO WILL RESULT IN A STOP WORK ORDER.

CIVIL SURVEY CONTACT:
KENNETH J. WOOD P.E., LEED AP
PLANNERS AND ENGINEER COLLABORATIVE
350 RESEARCH COURT
NORCROSS, GEORGIA 30092
PHONE: 770-451-2741
FAX: 770-451-3915
EMAIL: KWOOD@peccatl.com

OWNER CONTACT:
WALTER BROWN
GREEN STREET PROPERTIES
999 PEACHTREE STREET,
SUITE 1925
ATLANTA, GEORGIA 30309
PHONE: 404-835-8223

24 HOUR CONTACT:
Mr. Walter Brown @ 404-835-8223

REVISIONS:

NO.	DATE	BY	DESCRIPTION
-1	9-20-12	PEC	COUNTY COMMENTS
+1	10-10-12	PEC	REVISE POND 3
+2	11-10-2012	PEC	STORM LINE REV.

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COVER SHEET

SCALE:
DATE: MAY 16, 2012
PROJECT: 08031.01

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

SEP 20 2012
COBB COUNTY
SMYRNA, GA