

BK: 15169 PG: 1319-1321
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Real Estate Transfer Tax \$8.00
8332014013589

Record and Return to:
Weissman, Nowack, Curry & Wilco, P.C.
One Alliance Center, 3500 Lenox Road, 4th Floor
Atlanta, GA 30326

File No.: PE103-14-0004

This Warranty Deed, originally filed at Deed Book 15136, Page 900-901, is being re-filed to correct the grantor in that Eddie W. Cantrell was inadvertently omitted from the original deed, and the legal description, in that Parcel Two and Parcel Three (as shown on that survey attached hereto as Exhibit "B"), were inadvertently omitted from the original deed.

Please cross reference to Warranty Deed at Deed Book 15136, Pages 900-901, Cobb County, Georgia records.

ORIGINAL APPEARANCE
OF DOCUMENT

WARRANTY DEED

STATE OF GEORGIA
COUNTY OF FULTON

THIS INDENTURE, made this January 15, 2014, between **Karen A. Cantrell** and **Eddie W. Cantrell** of the County of Cobb, and the State of Georgia as party or parties of the first part, hereinafter called Grantor, and **Sean Tintile**, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, alienated, conveyed and confirmed and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property, to-wit:

SEE ATTACHED EXHIBIT "A" and EXHIBIT "B" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE HERETO

THIS CONVEYANCE is made subject to all zoning ordinances, easements and restrictions of record affecting said described property.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, IN FEE SIMPLE together with every contingent remainder and right of reversion, and to the heirs and assigns of said Grantee.

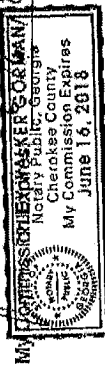
AND THE SAID Grantor will warrant and forever defend the right and title to the above-described property unto the said Grantees against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the date and year above written.

Signed, sealed and delivered
in the presence of:

Unofficial Witness

Notary Public



Karen A. Cantrell (Seal)
Karen A. Cantrell

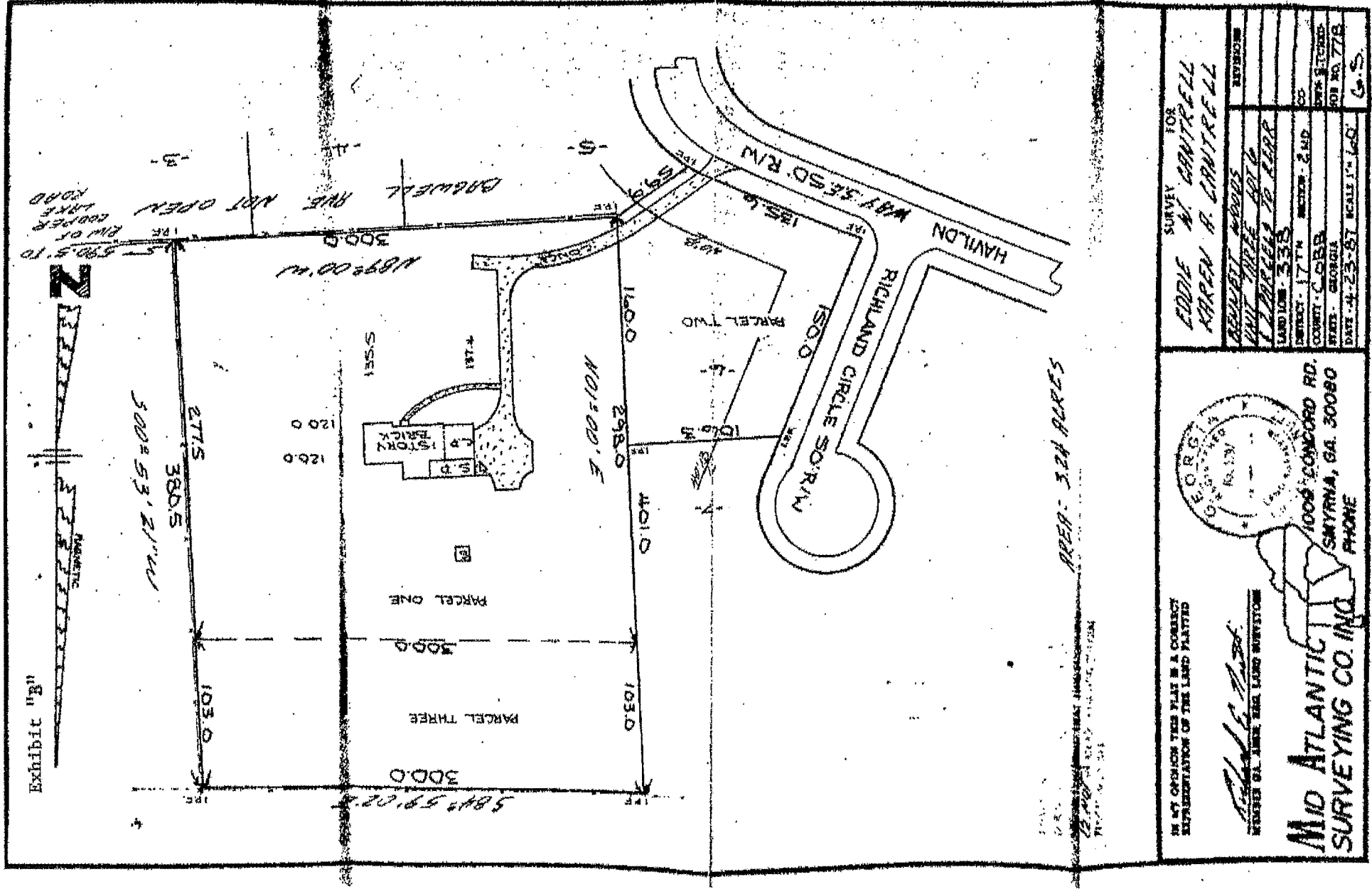
Eddie W. Cantrell (Seal)
Eddie W. Cantrell

EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 338 OF THE 17TH DISTRICT OF COBB COUNTY, GEORGIA BEING LOT 6, BLOCK E, UNIT THREE, BENNETT WOODS SUBDIVISION AND INCLUDING TWO OTHER PARCELS AS SHOWN ON SURVEY PREPARED FOR EDDIE W. CANTRELL AND KAREN A. CANTRELL BY MID-ATLANTIC SURVEYING CO., INC., DATED APRIL 23, 1987 (Said Survey being attached hereto as Exhibit "B") AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE TRUE POINT OF BEGINNING, BEGIN AT AN IRON PIN AT THE CORNER FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY OF RICHLAND CIRCLE AND THE NORTHEASTERLY RIGHT OF WAY OF HAVILON WAY; RUNNING THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY RIGHT OF WAY OF RICHLAND CIRCLE A DISTANCE OF 150 FEET TO AN IRON PIN; RUNNING THENCE EASTERLY A DISTANCE OF 106.3 FEET TO AN IRON PIN; RUNNING THENCE NORTH 01 DEGREES 00 MINUTES EAST A DISTANCE OF 138 FEET TO A POINT; CONTINUING THENCE NORTH 01 DEGREES 00 MINUTES EAST A DISTANCE OF 103 FEET TO AN IRON PIN; RUNNING THENCE SOUTH 84 DEGREES 59 MINUTES 02 SECONDS EAST A DISTANCE OF 300 FEET TO AN IRON PIN; RUNNING THENCE SOUTH 00 DEGREES 53 MINUTES 21 SECONDS WEST A DISTANCE OF 380.5 FEET TO AN IRON PIN; RUNNING THENCE NORTH 89 DEGREES 00 MINUTES WEST A DISTANCE OF 300 FEET TO AN IRON PIN; RUNNING THENCE SOUTHWESTERLY A DISTANCE OF 59.9 FEET TO AN IRON PIN ON THE NORTHEASTERLY RIGHT OF WAY OF HAVILON WAY; RUNNING THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY RIGHT OF WAY OF HAVILON WAY A DISTANCE OF 135.6 FEET TO AN IRON PIN AND THE POINT OF BEGINNING.

TOGETHER WITH A PERPETUAL NON EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS TO SAID PROPERTY FROM HAVILON WAY ACROSS LOT 6, BLOCK E, UNIT THREE, BENNETT WOODS OF SAME LAND LOT, DISTRICT AND SECTION OF COBB COUNTY, GEORGIA.



Return To:
Law Office of Joseph W Taylor
2900 Paces Ferry Rd, NW
Suite C-2000
Atlanta, GA 30339

Mail

BK: 15216 PG: 628-629
Filed and Recorded Feb-04-2015 02:00:58PM
DOC#: D2015-007875
Real Estate Transfer Tax Paid \$190.00
0332015001796

Rebecca Keaton

WARRANTY DEED

REBECCA KEATON

CLERK OF SUPERIOR COURT Cobb Cty. GA.

STATE OF GEORGIA,
COUNTY OF COBB

This Indenture made this 30th day of January, in the year **Two Thousand and Fifteen**, between **NAZEER KUTTY**, as party of the first part, hereinunder called Grantor, and **Sean Tittle**, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of **TEN AND 00/100 (\$10.00) Dollars** and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto said Grantee the following:

All that tract or parcel of land lying and being in Land Lot 338 of the 17th District, 2ND Section, Cobb County Georgia and being more particularly described on Exhibit "A" attached hereto and incorporated herein by reference.

THIS CONVEYANCE is made subject to all zoning ordinances, easements and restrictions of record affecting said bargained premises;

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**;

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever;

IN WITNESS WHEREOF, Grantors have hereunto set their hands and seals this day and year above first written.

Signed, sealed and delivered in the presence of:

John Duma
Witness

NAZEER KUTTY (Seal)

Joseph W. Taylor
Notary Public

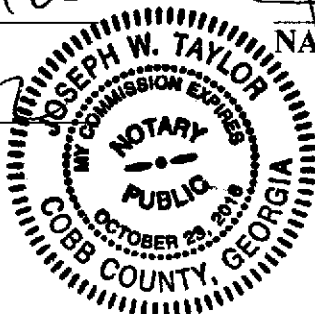


EXHIBIT "A"

All that tract or parcel of land lying and being situate in Land Lot 338, of the 17th District, 2nd Section, Cobb County, Georgia, and being more particularly described as follows: Commence at an iron pin found on the Northerly side of Bagwell Drive (twenty-three (23) foot private road), being North 89 degrees 26 minutes 28 seconds West, a distance of two hundred twenty-eight and nine hundredths (228.09) feet from the intersection of the Northerly side of Bagwell Drive with the Westerly Right-of-Way of Cooper Lake Drive (said point also being one thousand one hundred seventy-five (1,175) feet South, as measured along said Right-of-Way from the intersection of the Westerly Right-of-Way of Cooper Lake Drive with the Northerly line of Land Lot 338); running thence North 03 degrees 30 minutes 00 seconds West, a distance of one hundred fifty-seven and sixty-five hundredths (157.65) feet to an iron pin found and the POINT OF BEGINNING; running thence North 03 degrees 30 minutes 00 seconds West, a distance of twenty-seven and thirty-five hundredths (27.35) feet to an iron pin found; running thence North 72 degrees 37 minutes 03 seconds East, a distance of sixty-four and seven hundredths (64.07) feet to an iron pin set; running thence North 77 degrees 54 minutes 30 seconds East, a distance of one hundred thirty-six (136.00) feet to an iron pin found on the Westerly Right-of-Way of Cooper Lake Road (forty (40) foot Right-of-Way); running thence along said Right-of-Way, North 12 degrees 04 minutes 20 seconds West, a distance of eighty (80.00) feet to an iron pin found; running thence and leaving said Right-of-Way, South 75 degrees 50 minutes 01 seconds West, a distance of one hundred eighty-eight (188.00) feet to a point; running thence North 03 degrees 30 minutes 00 seconds West, a distance of one hundred ten (110.00) feet to an iron pin found; running thence North 89 degrees 06 minutes 34 seconds West, a distance of one hundred eighty-one and thirty-one hundredths (181.31) feet to an iron pin found; running thence South 00 degrees 51 minutes 19 seconds West, a distance of two hundred sixteen and seventy-four hundredths (216.74) feet to an iron pin found; running thence South 89 degrees 07 minutes 11 seconds East, a distance of one hundred ninety-seven and eighty-one hundredths (197.81) feet to an iron pin found and the POINT OF BEGINNING.