

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A PINS BEING USED FOR THE SURVEY AND ELECTRONIC DISTANCE MEASUREMENT. THE SURVEY WAS CONDUCTED ON THE PROPERTY OF PAT MELL PLACE, 1700 WESTWIND DRIVE, COBB COUNTY, GEORGIA. THE SURVEY WAS CONDUCTED ON OCTOBER 17, 2017. THE SURVEY WAS CONDUCTED BY SOVEREIGN PACIFIC, LLC, A LIMITED LIABILITY COMPANY, UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF GEORGIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF GEORGIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF GEORGIA.

LOCATION OF UTILITY CONDUITS ON OR AROUND THE SURVEYED PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION, AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED. THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE. THE SURVEYOR'S LIABILITY IS LIMITED TO THE FACE OF THIS SURVEY. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

FOR RECORDING INFORMATION
CLERK OF THE COURT

LEGEND	
□	P.P. - POWER POLE
⊗	L.P. - LIGHT POLE
⊕	F.M. - FIRE HYDRANT
⊙	M.M. - SANITARY SEWER MANHOLE
⊖	W.M. - WATER METER
⊘	G.M. - GAS METER
○	RBS - REINFORCING BAR SET
○	RBF - REINFORCING BAR FOUND
○	CIT - CRIMP TOP FIRE FOUND
○	CIF - OPEN TOP FIRE FOUND
○	H/W MON - RIGHT-OF-WAY MONUMENT
×	TYPE OF FENCE
⊕	JB - JUNCTION BOX
⊕	GI - DROP INLET / YARD INLET
⊕	CB - CATCH BASIN
⊕	P.C.P. - REINFORCED CONCRETE PIPE
⊕	C.M.P. - CORRUGATED METAL PIPE
⊕	F.F.E. - FINISHED FLOOR ELEVATION
⊕	W.V. - WATER VALVE
⊕	S.C.O. - SEWER CLEAN OUT
⊕	TELEPHONE MANHOLE
⊕	OVERHEAD POWER LINES
⊕	HW - HEADWALL
⊕	POWERPOD
⊕	STREET ADDRESS
⊕	W.M. - WATER LINE
⊕	U.U. - UNDERGROUND UTILITY
⊕	U.G. - UNDERGROUND GAS LINE
⊕	U.E. - UNDERGROUND ELECTRICAL LINE

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE NEW PROPERTY. THE SURVEYOR HAS REVIEWED THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS AND STATED HEREON REFORMATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL ORDINANCES, OR COMPLIANCE WITH ANY FEDERAL, STATE, OR LOCAL REGULATIONS. THE SURVEYOR HAS REVIEWED THE UNDERGROUND LAND SURVEYING STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 13-6-67.



Alan C. Olan
10-08-2017
DATE

Gaskins
ENGINEERING SURVEYING AND LAND MANAGEMENT CONSULTING CONSTRUCTION SURVEY

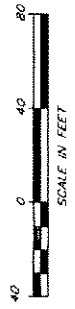
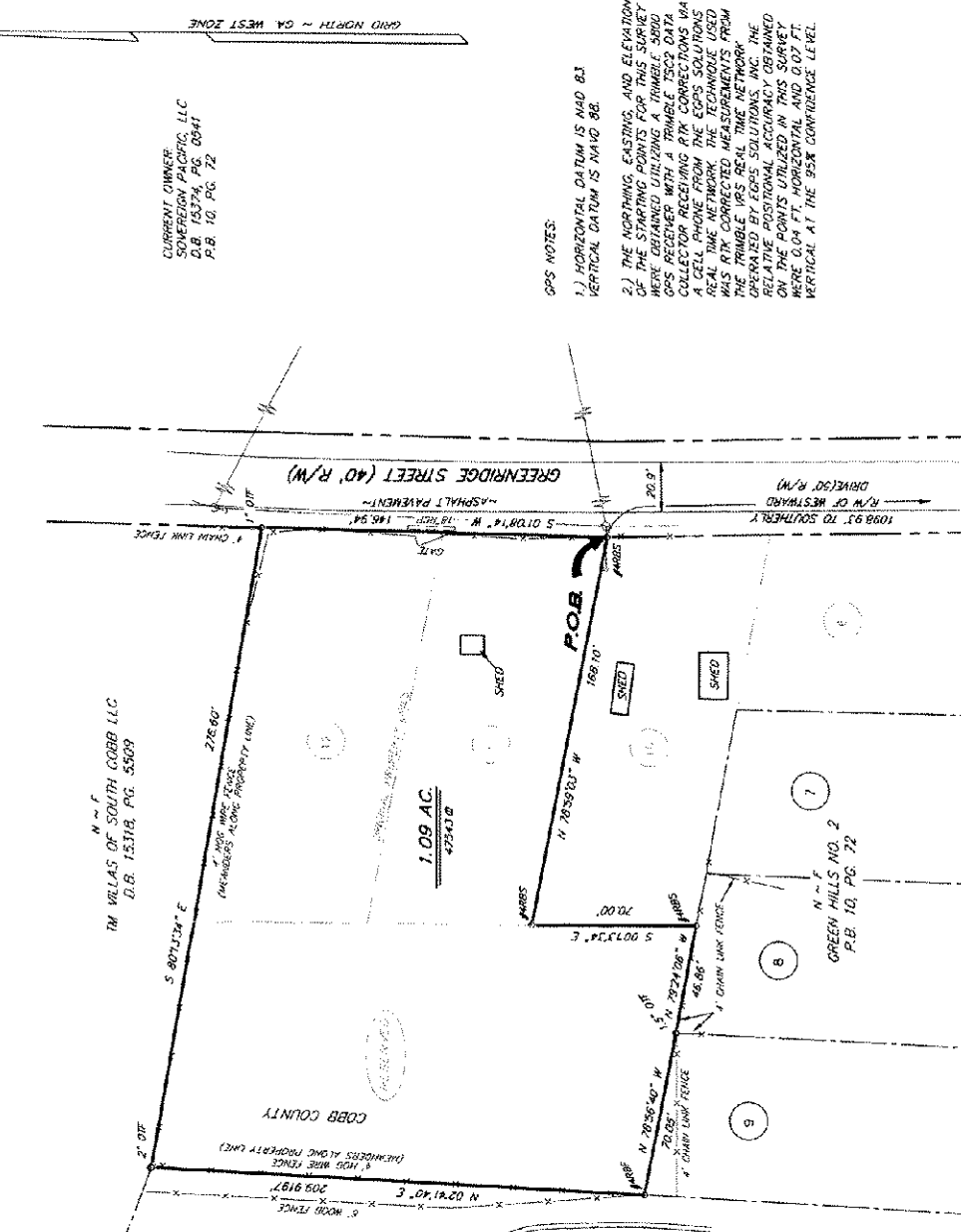
Minimum Office
1306 Powder Springs Rd
Powder Springs, GA 30127
Phone: (770) 421-2188 Fax: (770) 421-2188
www.gaskinspa.com

Minimum Office
147 Reinhardt College Pkwy
Lawrenceville, GA 30046
Phone: (770) 479-5688

FIELD DATE: 10-02-17
DRAWN BY: APB
CHECKED BY: DCC
SCALE: 1"=40'
FILE: S:\BMD\20888\17

BOUNDARY RETRACEMENT
SURVEY FOR:
SOVEREIGN PACIFIC, LLC
LOTS 11, 12, RESERVED
GREEN HILLS SUBDIVISION NO. 2

LOCATED IN 349
17th DISTRICT, 2nd SECTION
COBB COUNTY, GA.



GPS NOTES:
1.) HORIZONTAL DATUM IS NAD 83
VERTICAL DATUM IS NAVD 88.
2.) THE NORTHING, EASTING, AND ELEVATION
OF THE STARTING POINTS FOR THIS SURVEY
WERE OBTAINED UTILIZING A TRIMBLE 5800
GPS RECEIVER WITH A TRIMBLE SSC2 DATA
COLLECTOR RECEIVING THE CORRECTED
REAL TIME NETWORK THE TECHNIQUE USED
WAS RTK-CORRECTED MEASUREMENTS FROM
THE TRIMBLE GPS REAL TIME NETWORK
OPERATED BY EGPS SOLUTIONS, INC. THE
RELATIVE POSITIONAL ACCURACY OBTAINED
ON THE POINTS UTILIZED IN THIS SURVEY
WERE 0.04 FT. HORIZONTAL AND 0.07 FT.
VERTICAL AT THE 95% CONFIDENCE LEVEL.

CURRENT OWNER
SOVEREIGN PACIFIC, LLC
D.B. 15374, PG. 0041
P.B. 10, PG. 72

TM VILAS OF SOUTH COBB LLC
D.B. 15318, PG. 5509

PAT MELL PLACE TOWNHOMES
P.B. 92, PG. 96

Prepared by Sean I. Murphy
 Registered Professional Surveyor
 License No. 77053-00-0005
 Phone: 770-530-9205
 www.seanmurphy.com
 sean@seanmurphy.com

DATE	REVISIONS

The Parcel at Greenridge - Lots 116, 117
 Now of Green Hills Subdivision No. 2
 Land Lot 049, 17th District, 2nd Section, Cobb County, Georgia
 For
 Kimberly Netwood

NO PART OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE X) AS DERIVED BY FIRM COMMUNITY PANEL NUMBER 130677001AL, REVISED DATE OF OCTOBER 5, 2018, COBB COUNTY, GEORGIA, AND UNINCORPORATED AREAS.
 REFERENCE MATERIAL:
 1. GREEN HILLS SUBDIVISION PLAT, RECORDED IN COBB COUNTY RECORDS IN PLAT BOOK 10, PAGE 72, DEED BOOK 14857 PAGE 6144, PARCEL 17034900100.

RECORDED IN DEED BOOK _____ PAGES _____
 SUBJECT TO PROTECTIVE COVENANTS
 CLERK, COBB COUNTY SUPERIOR COURT
 DATE _____

PLAT NOTES:
 1) NUMBER 4 REBAR SET AT ALL CORNERS UNLESS OTHERWISE SHOWN
 2) TOTAL AREA 1.09 ACRES (PRIOR TO R.O.W. DEDICATION - 1.07 AC AFTER R.O.W. DEDICATION)
 3) TOTAL NUMBER OF LOTS 2
 4) DENSITY 1.08 UNITS/ACRE
 5) SETBACKS
 FRONT BUILDING LINE: 20'
 REAR BUILDING LINE: 35'
 SIDE BUILDING LINE: 7.5'
 EXISTING ZONING: M1 - CO/R20/RM12
 6) PROPOSED ZONING: R15
 7) BUILDING SETBACKS ALONG ROAD MEASURED FROM NEW PROPOSED R.O.W.
 8) THERE ARE NO CULTURAL FEATURES, INCLUDING CHIEFTENS AND OR HISTORIC FEATURES ON THIS PROPERTY.
 THIS PLAT FILED IN OFFICE _____ PAGE _____
 ON _____

CITY ENGINEER _____ DATE _____
 MAYOR, CITY OF SYRINA _____ DATE _____
 PLANNING AND ZONING COMMISSION _____ DATE _____
 ENGINEERING DEPARTMENT _____ DATE _____
 SURVEYING INSPECTOR _____ DATE _____

CITY OF SYRINA DEVELOPMENT CERTIFICATION
 THIS PLAT HAS BEEN SUBMITTED TO THE CITY OF SYRINA AND HAS BEEN FOUND TO COMPLY WITH THE CITY OF SYRINA SUBDIVISION REGULATIONS AND THE CITY OF SYRINA ZONING REGULATIONS. APPROVED SUBJECT TO INSTALLATION AND DEDICATION OF EASEMENTS AND OTHER IMPROVEMENTS IN ACCORDANCE WITH THE STANDARD DESIGN SPECIFICATIONS.

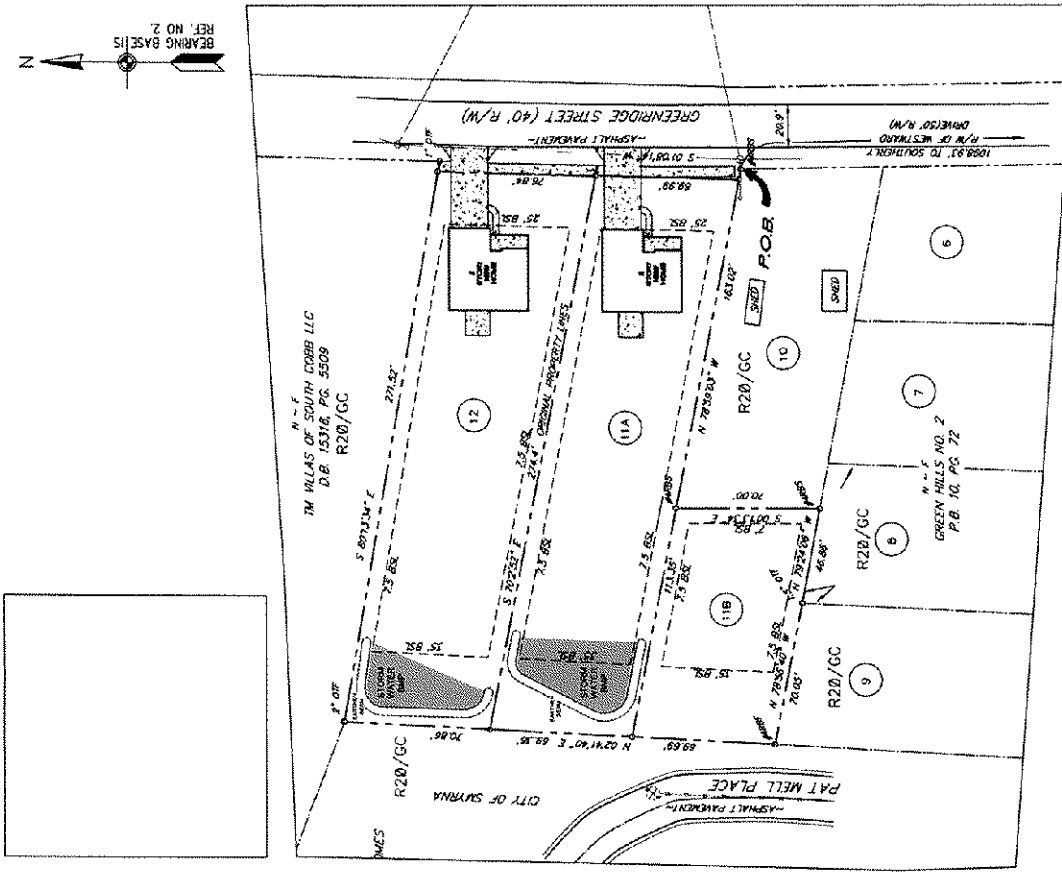
PREPARED BY SEAN I. MURPHY, GEORGIA L.A. 00126
 REGISTERED PROFESSIONAL SURVEYOR

OWNER'S ACKNOWLEDGMENT
 THE OWNER OF THE LAND SHOWN ON THIS PLAT HEREBY CERTIFIES THAT THIS PLAT HAS BEEN PREPARED BY A REGISTERED PROFESSIONAL SURVEYOR AND THAT THE USE OF THE PUBLIC RECORDS AND OTHER DOCUMENTS HEREBY SHOWN FOR THE PURPOSES AND CONSIDERATION EXPRESSED.

LEGEND:
 R/W DENOTES RIGHT-OF-WAY
 C DENOTES CURB
 EP DENOTES EDGE OF PAVING
 EP DENOTES GUTTER
 EP DENOTES TOP OF WALL
 EP DENOTES BOTTOM OF WALL
 X DENOTES REINFORCED CONCRETE PIPE
 ROP DENOTES CORRODED METAL PIPE
 CWP DENOTES CONCRETE WALL
 LP DENOTES LIGHT POLE
 GW DENOTES GUY WIRE
 PH DENOTES POWER LINE
 PH DENOTES POWER LINE
 PH DENOTES POWER BOX
 A/C DENOTES AIR CONDITIONING
 DM DENOTES GAS METER BOX
 DM DENOTES GAS VALVE
 DM DENOTES GAS LINE MARKER
 GW DENOTES WATER VALVE
 WY DENOTES WATER HYDRANT
 WY DENOTES WATER VALVE
 MW DENOTES MANHOLE
 MW DENOTES MANHOLE
 MW DENOTES JUNCTION BOX
 MW DENOTES DRAIN INLET
 DI DENOTES DRAIN INLET
 SSW DENOTES SANITARY SEWER MANHOLE
 CO DENOTES CLEAN OUT

GENERAL NOTES:
 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES BURIED UTILITIES SHOULD BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, PLEASE CALL ALL LOCAL UTILITY PROVIDERS.
 2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OR RECORD ENCUMBRANCES OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR MAKING SUCH PERSON, PERSONS OR ENTITY.
 4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A FIELD ERROR OF ONE FOOT IN 10,000 FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 10,000+ FEET. LINEAR AND ANGULAR DISAPPROPRIATIONS WERE COMPUTED BY USING A TOPCON BEARINGS PLUMBER. BECAUSE PLUMBER WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
 5. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS COBB COUNTY R-20

VICINITY MAP:
 (Map showing location of the property within the city of Syrina and surrounding areas.)



NOTES:
 • Developer will top water main, manholes and set water meter box per city specifications
 • Developer will top sewer, man and install sewer top later per city specifications

SURVEYOR CERTIFICATIONS:
 I, SEAN I. MURPHY, A REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF GEORGIA, CERTIFY THAT THIS MAP, PLAT, OR PLAN HAS BEEN APPROVED BY THE BOARD OF SURVEYORS OF COBB COUNTY, GEORGIA, AND THE MUNICIPAL PLANNING COMMISSIONS OF MUNICIPAL OR COMMUNITY DEVELOPMENT DEPARTMENTS OF COBB COUNTY, GEORGIA, AND UNINCORPORATED AREAS. I HAVE AFFIRMED IN WRITING THAT THE APPROVAL IS NOT REQUIRED.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:
 CITY OF SYRINA
 THE FOLLOWING GOVERNMENTAL BODIES HAVE AFFIRMED THAT APPROVAL IS NOT REQUIRED:
 NA

SUCH APPROVALS OF AFFIRMATIONS SHOULD BE CONSIDERED WITH THE APPROPRIATE GOVERNMENTAL AGENCY. THE APPROVALS OF ANY PARCEL WITHIN THIS PARCEL OR ANY PART THEREOF SHALL BE VALID ONLY IF THE APPROVALS OF THE MUNICIPAL PLANNING COMMISSIONS AND GOVERNMENTAL BODIES OF THE STATE OF GEORGIA, AND UNINCORPORATED AREAS AND LAND SURVEYORS AND THE GEORGIA SUPERIOR COURT CLERK'S COOPERATIVE AUTHORITY.

GRAPHIC SCALE
 40 20 0 40 FT
 SCALE: 1" = 40'

SITE DATA

CURRENT SITE AREA:
 Lot 1A = 14245.0sf
 Lot 1B = 7435.0sf
 Lot 12 = 2032.3sf
 TOTAL = 41992.3sf ± 1.00 AC ACRES
 (EXCLUDES AREAS IN PUBLIC RIGHT-OF-WAY)

SITE AREA AFTER DEDICATION OF R.O.M:
 Lot 1A = 11845.0sf
 Lot 1B = 7435.0sf
 Lot 12 = 11536.0sf
 TOTAL = 40816.0sf ± 1.00 AC ACRES
 (EXCLUDES AREAS IN PUBLIC RIGHT-OF-WAY)

DISBURSED SITE AREA: 13000sf = 0.3 ACRES (EXCLUDES AREAS IN PUBLIC RIGHT-OF-WAY)
IMPERVIOUS AREA:
 Lot 1A = 2194sf
 Lot 1B = 2185sf
 Lot 12 = 2185sf
 TOTAL = 4579sf

PERCENT IMPERVIOUS: 4579sf / 41992.3sf = 0.11 AC = 4% OF TOTAL SITE AREA
EXISTING ZONING: COBB COUNTY R20/OC/R12
NUMBER OF UNITS: 2 = 1.84/UFA

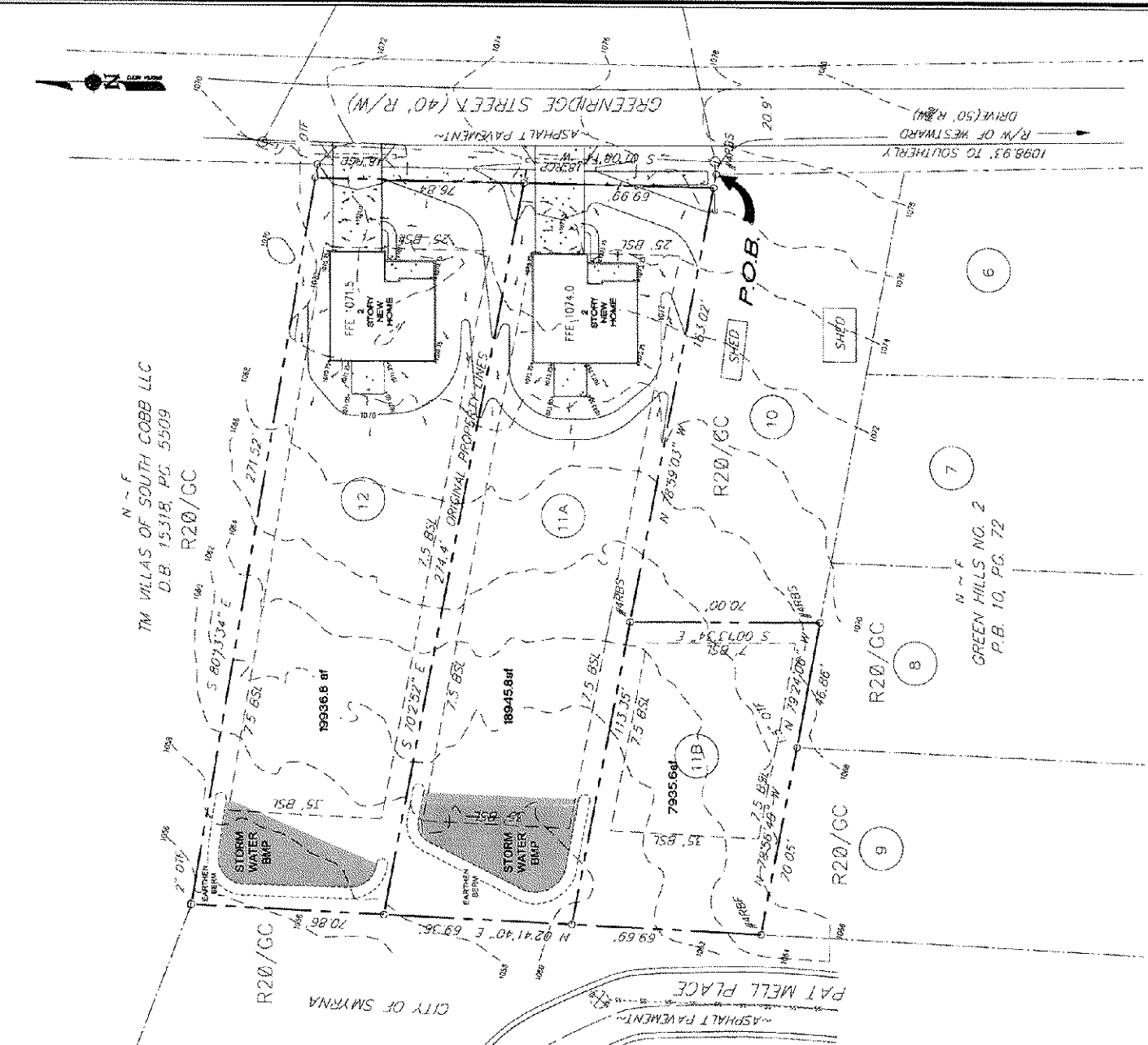
PARKING SPACES PROVIDED: OFF STREET PARKING FOR TWO CARS PER LOT 'S'
WATER & SEWER: COBB COUNTY / CITY OF SMYRNA (TBD)
POWER PROVIDER: GEORGIA POWER
STATE WATERS: THERE ARE NO STATE WATERS ON SITE OR WITHIN 200 FEET

NOTES:

1. THESE LOTS ARE BEING PROPOSED TO MATCH THE HISTORICAL PLAT FOR THE GREEN HILLS SUBDIVISION
2. THESE LOTS ARE CURRENTLY VACANT AND COMPOSED OF A FULLY FENCED AREA.
3. THESE LOTS ARE PROPOSED TO CONTAIN INDIVIDUAL STORM WATER DETENTION AND INFILTRATION SYSTEMS SO THAT NO RESTRICTIVE COVENANTS OR SHARED ACCESS AGREEMENTS SHALL BE REQUIRED. MAINTENANCE OF THESE FACILITIES SHALL BE THROUGH EACH INDIVIDUAL LOT.
4. THE FINAL SIZE AND EXACT TYPE OF STORM WATER MANAGEMENT FACILITY SHALL BE DETERMINED BY THE CITY OF SMYRNA SITE PERMIT PLANS. CURRENTLY IT IS ANTICIPATED THAT A SIMPLE ABOVE GROUND DETENTION FACILITY WILL BE APPROPRIATE FOR EACH LOT.
5. DEVELOPER WILL TAP WATER MAIN
6. DEVELOPER WILL INSTALL WATER SPOUGES AND SET WATER METER BOX PER CITY SPECIFICATIONS
7. CITY WILL SET WATER METER
8. DEVELOPER WILL TAP SEWER MAIN AND INSTALL SEWER TAP LATERAL PER CITY SPECIFICATIONS

WATER QUALITY VOLUME - PRELIMINARY

NEW LOT
 Total On-Site Area = 1.07 acres
 Impervious Area (10%) = .107 acres
 $MCV = 11.27(VAV) \times \text{where } R = 0.05 + 0.0001(I), \text{ impervious area} = \text{total area}$
 $I = 0.107 / 1.07 = 0.10\%$
 $R = 0.05 + 0.0001(0.10) = 0.0500001$
 $MCV = 11.27(1.07) \times 0.0500001 = 0.60$
 $= 0.60 \text{ cu-ft} \times 435 \text{ cu-ft} = 261 \text{ cu-ft}$
 1,000 CU. FT. TO BE PROVIDED



OWNER/DEVELOPER
 CONTACT: ROCK KOEB
 PHONE: (404) 518-3542

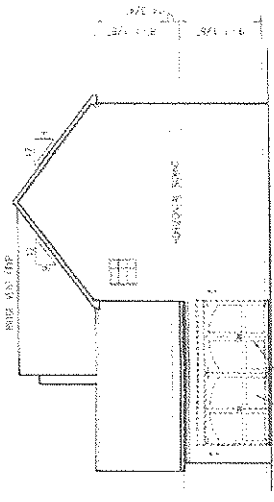


The Pines at Greenidge - Lots 11A, 12
 Now or Formerly Lots 11, 12, & Reserved Lot of Green Hills Subdivision
 No. 2 Land Lot 349, 17th District, 2nd Section, Cobb County, Georgia
 FOR KIMBERLY NORWOOD

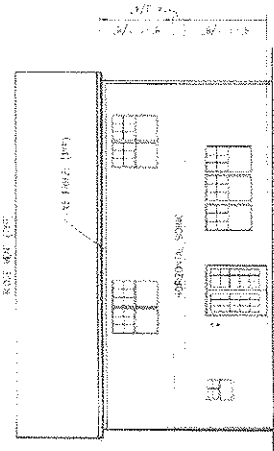
DATE	DESCRIPTION	BY	FOR
11/15/19	PREPARED	ST	
	DESIGN	BP	
	DRAWN	BP	
	CHECKED	BP	
	DATE	11/15/19	SCALE
		1"=20'-0"	

PROJECT HAWTHORNE "A"		DATE
DRAWING TITLE EXTERIOR ELEVATIONS		SCALE
OPTION NO.		DATE
SET NUMBER		REVISION NUMBER - REFER TO COVER SHEET FOR DESCRIPTION
DRAWING SCALE VARIES		DESIGNED BY A1

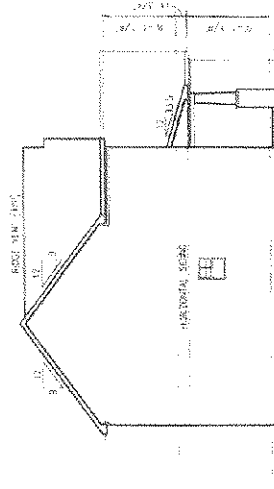
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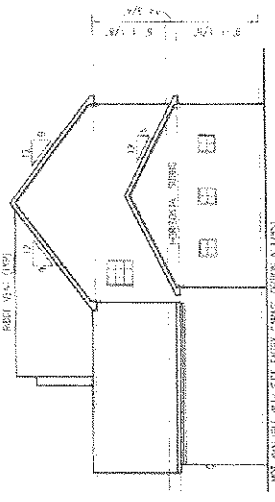
RIGHT ELEVATION



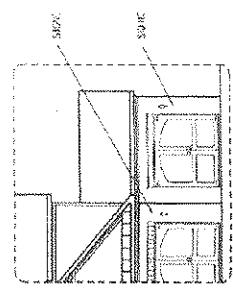
REAR ELEVATION



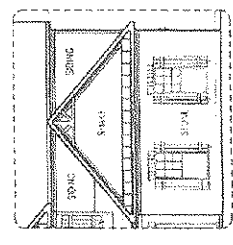
LEFT ELEVATION



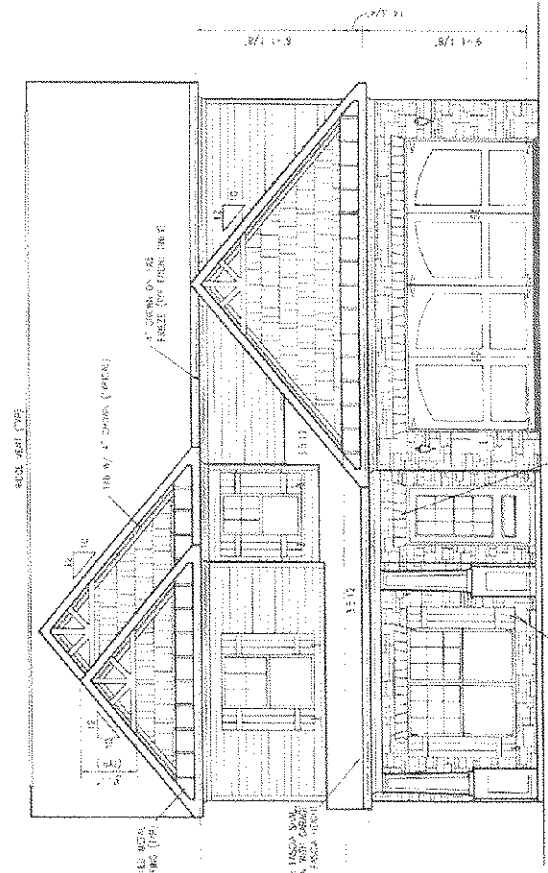
**RIGHT ELEVATION
W/ TANDEM GARAGE OPTION A114034**



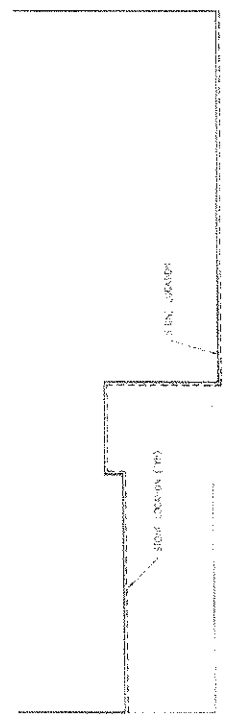
TANDEM GARAGE OPTION A114034



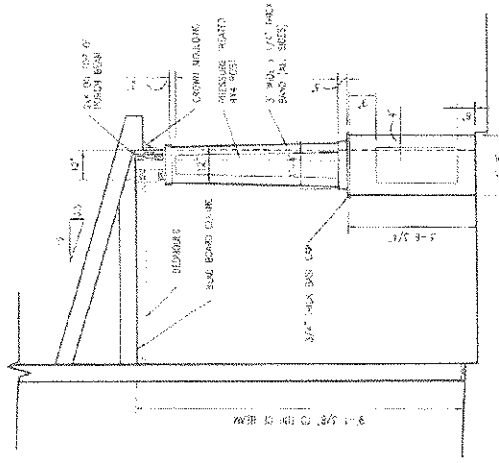
SIDE ENTRY OPTION A117851



FRONT ELEVATION



STONE LOCATIONS



SECTION @ PORCH COLUMN

1/8"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32

3/16"

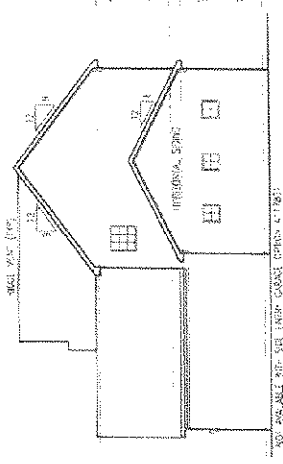
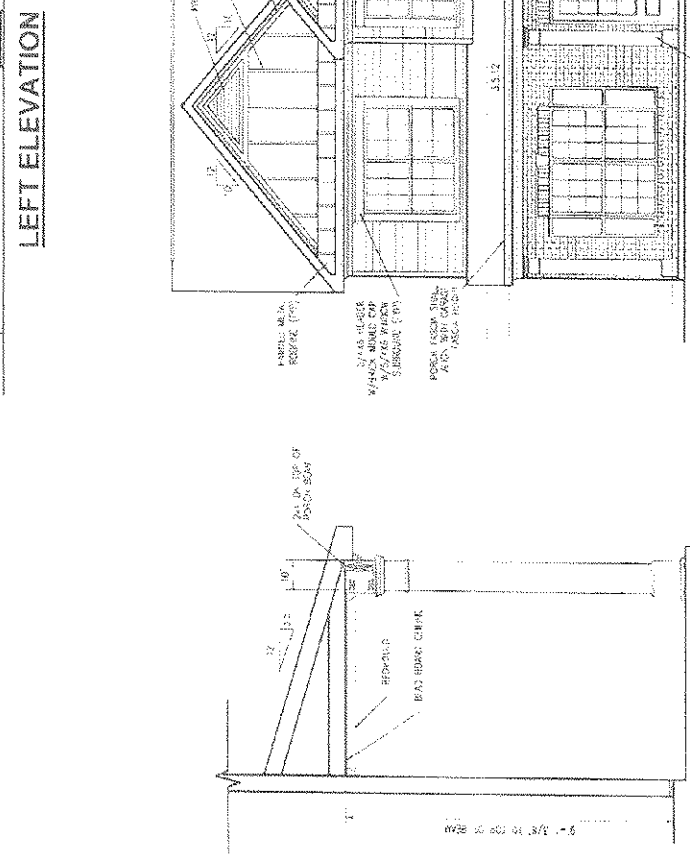
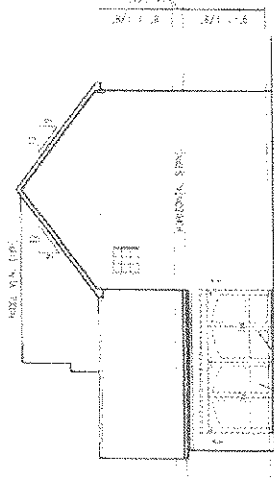
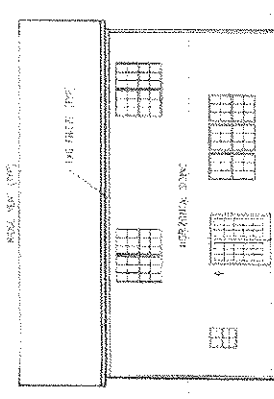
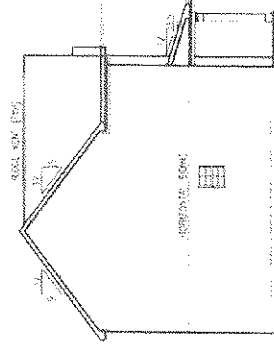
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• NOTE: ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED
 • REFER TO 2007 AIA/CES GREEN BUILDING GUIDE

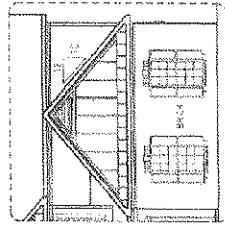
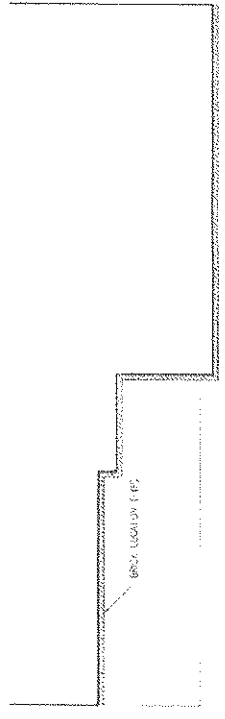
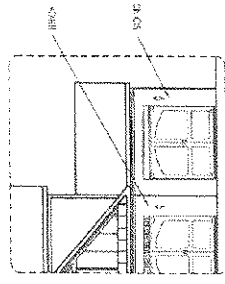
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1/8"

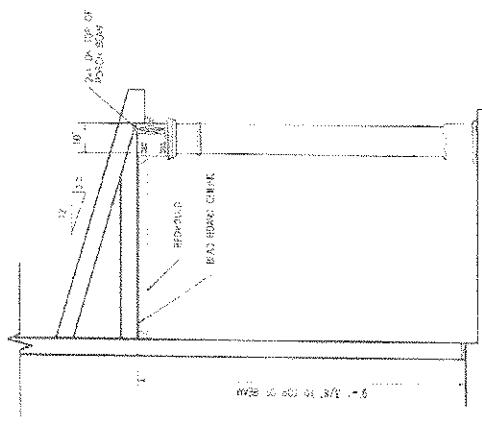
3/16"



W/ TANDEM GARAGE OPTION A114034



SECTION @ PORCH COLUMN



FRONT ELEVATION

SIDE ENTRY OPTION A117851

- VERIFY ALL WINDOW SIZES, 6" O.C. OR 12" INTERVALS BY SCALE.
- AREAS TO BE SET FROM EXISTING AND DIMENSIONS LOCATIONS.

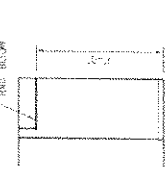
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DRAWING TITLE:	EXTERIOR ELEVATIONS
OPTION DESCRIPTION:	
DATE:	
SCALE:	VARIABLE
REVISION NUMBER - REFER TO COVER SHEET FOR DESCRIPTION:	

A1.1B

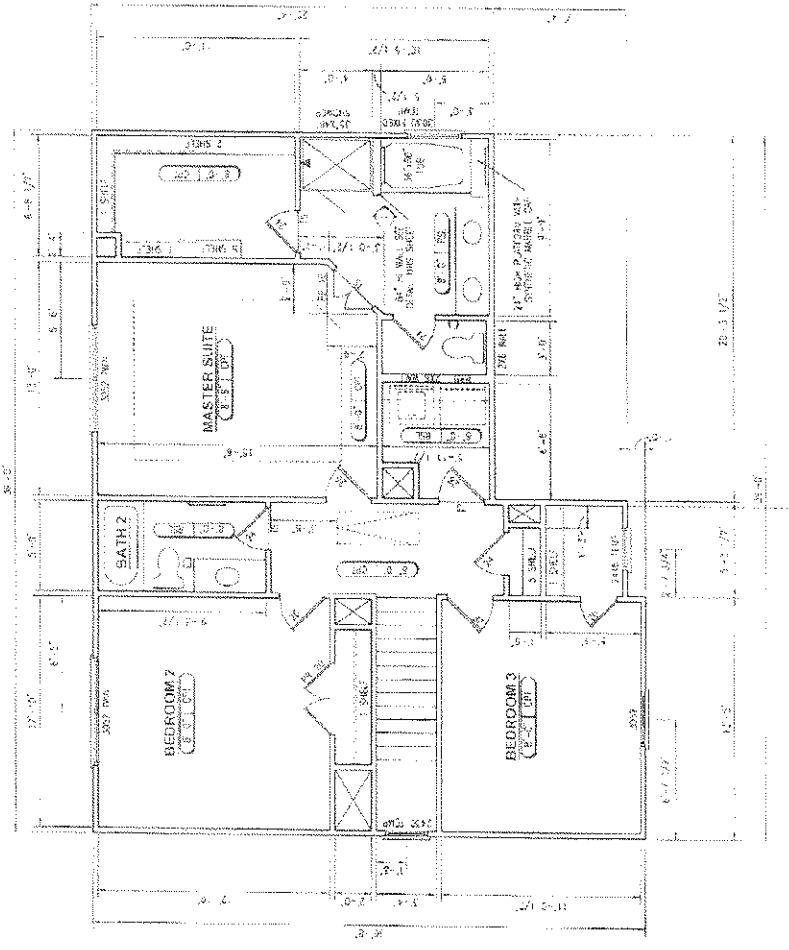
SEQUENCE 96 B1

1/8"

3/16"



ELEV. @ MSTR SHOWER WALL



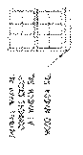
SECOND FLOOR PLAN

NOTES & LEGENDS

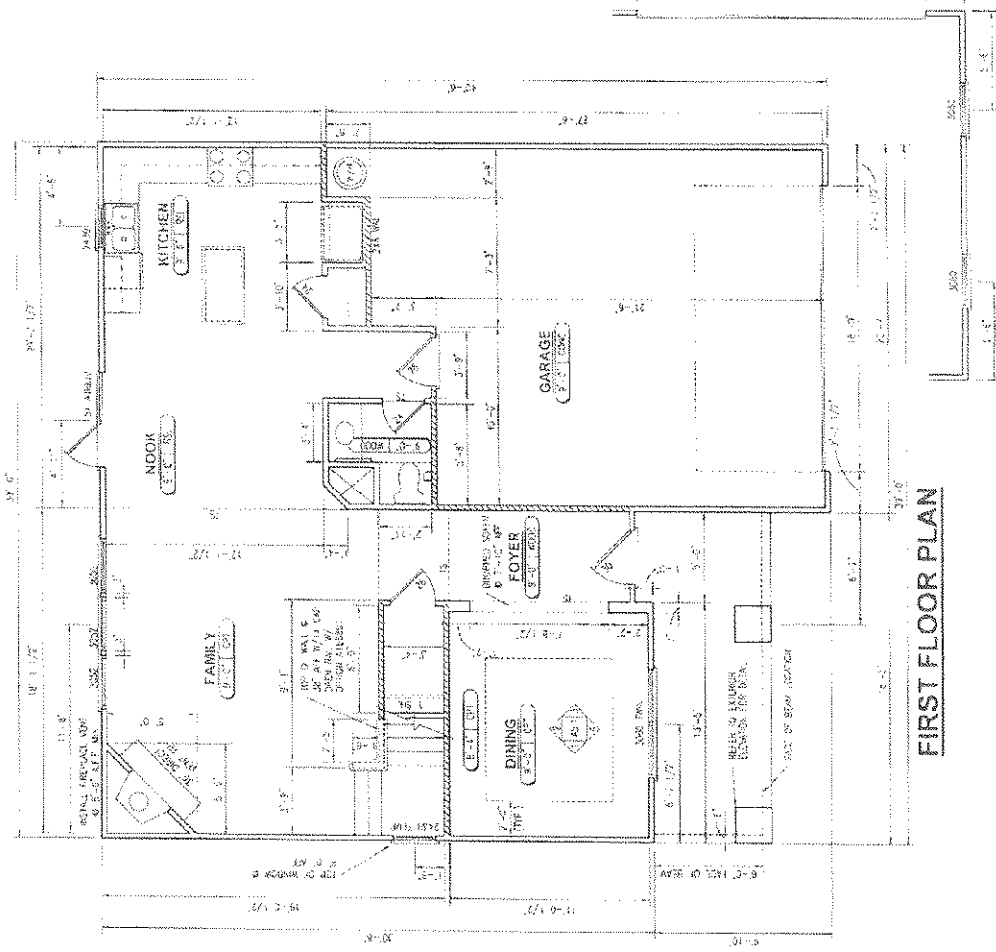
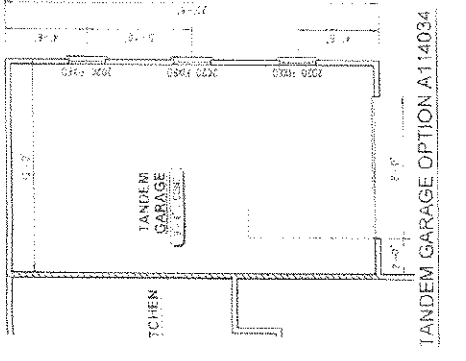
- 1. REFER TO ARCHITECTURAL SPECIFICATIONS DRAWINGS SHEETS 5-7 FOR ALL REBAR & BRASS DETAILS
- 2. ALL WALLS SHALL BE CONCRETE UNLESS NOTED OTHERWISE
- 3. ALL EXTERIOR WALLS SHALL BE 12" THICK UNLESS NOTED OTHERWISE
- 4. ALL INTERIOR WALLS SHALL BE 8" THICK UNLESS NOTED OTHERWISE
- 5. ALL FLOORS SHALL BE CONCRETE UNLESS NOTED OTHERWISE
- 6. ALL CEILING SHALL BE 5" THICK UNLESS NOTED OTHERWISE
- 7. ALL ROOF SHALL BE 6" THICK UNLESS NOTED OTHERWISE
- 8. ALL FOUNDATION SHALL BE CONCRETE UNLESS NOTED OTHERWISE
- 9. ALL FINISHES SHALL BE AS NOTED OTHERWISE
- 10. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS NOTED OTHERWISE
- 11. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE
- 12. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE
- 13. ALL DIMENSIONS SHALL BE TO SURFACE UNLESS NOTED OTHERWISE
- 14. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE
- 15. ALL DIMENSIONS SHALL BE TO SURFACE UNLESS NOTED OTHERWISE
- 16. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE
- 17. ALL DIMENSIONS SHALL BE TO SURFACE UNLESS NOTED OTHERWISE
- 18. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE
- 19. ALL DIMENSIONS SHALL BE TO SURFACE UNLESS NOTED OTHERWISE
- 20. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE

AREA TABULATION

GARAGE	4.14	SF
FLOOR 1	866	SF
FLOOR 2	377	SF
TOTAL	1247	SF



TANDEM GARAGE OPTION A114034



REVISION NUMBER - REFER TO COVER SHEET FOR DESCRIPTION