

#### LEGEND:

BSL	BUILDING SETBACK LINE	POB	POINT OF BEGINNING
IPF	IRON PIN FOUND	R/W	RIGHT-OF-WAY
IPS	IRON PIN SET (#4 REBAR)	WM	WATER METER
LL	LAND LOT		SANITARY MANHOLE
LLL	LAND LOT LINE		CATCH BASIN

#### GENERAL NOTES:

PER THE PROVIDED SURVEY THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 37.572' AND AN ANGULAR ERROR OF 11" /STA, AND WAS ADJUSTED USING THE COMPASS RULE.

BEARINGS AND DISTANCES SHOWN HEREON WERE FIELD MEASURED AND ARE IN SUBSTANTIAL AGREEMENT WITH THE DESCRIPTION UNLESS OTHERWISE NOTED HEREON.

ACCORDING TO THE ORIGINAL SURVEY A LEICA TSP12 WAS USED TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS. LINEAR DISTANCES SHOWN ARE HORIZONTAL GROUND.

ACCORDING TO THE ORIGINAL SURVEY THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE PREPARER NAMING SAID PERSON, PERSONS OR ENTITY.

THE PREPARER OF THIS PLAN DOES NOT WARRANT THE EXISTENCE OR NONEXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA. FIELD WORK WAS COMPLETED ON 3/21/16 BY LANDTEC SUVEY AND PROVIDED BY CLIENT.

BOUNDARY PIN VERIFICATION DONE BY LANDTEC. BOUNDARY SURVEY DONE BY OTHERS AND SUPPLIED BY CLIENT.

NO NGS MONUMENT WAS FOUND WITHIN 500 FEET OF THIS PROPERTY.

PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE TERM "CERTIFY" OR "CERTIFICATION" RELATING TO LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED ON FACTS AND KNOWLEDGE KNOWN TO THE LAND SURVEYOR AND IS NOT GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON AND WAS BASED ON VISIBLE ABOVE GROUND EVIDENCE SUCH AS MANHOLES, CATCH BASINS, FIRE HYDRANTS, WATER METERS, ETC. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

UNLESS STATED OTHERWISE HEREON, ONLY EVIDENCE OF EASEMENTS OR STRUCTURES THERETO WHICH ARE READILY APPARENT FROM A CASUAL ABOVE GROUND VIEW OF THE PREMISES ARE SHOWN. THE PREMISES SHOWN AND DESCRIBED HEREON ARE SUBJECT TO ANY EXISTING EASEMENTS, RIGHT-OF-WAYS, RESTRICTIONS, AND SETBACK LINES WHETHER OR NOT THEY ARE SHOWN ON THE PLAT HEREON OR WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS THAT MAY BE ASSOCIATED WITH THE EXISTENCE OF ANY EASEMENTS.

UNLESS STATED OTHERWISE, GOVERNMENTAL JURISDICTIONAL AREAS OR NEGATIVE EASEMENTS, IF ANY, WHICH MIGHT IMPACT ON THE USE OF THE PREMISES WERE NOT LOCATED. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR ANY LOSS RESULTING FROM THE EXERCISE OF ANY GOVERNMENTAL JURISDICTION AFFECTING THE USE OF THE PREMISES.

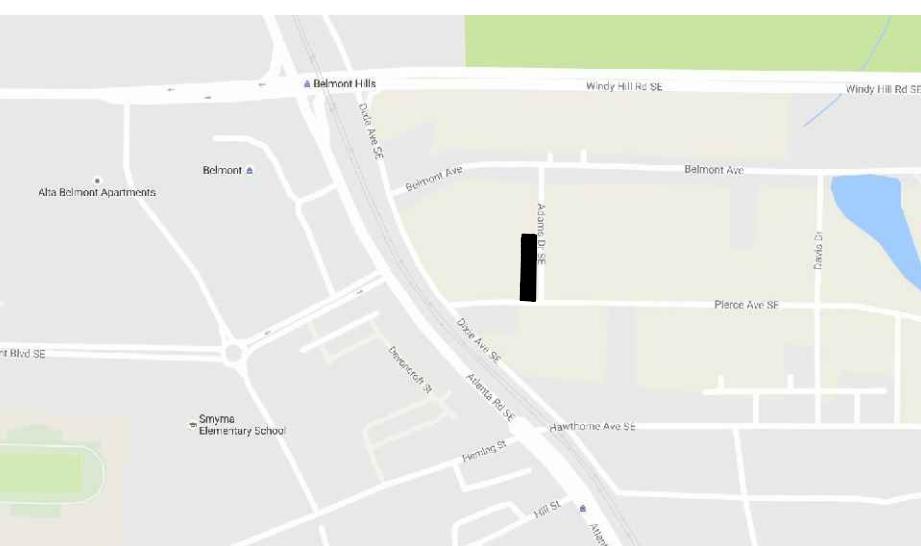
ACCEPTANCE OF THIS SURVEY PLAT OR USE OF THE CORNER MONUMENTS FOUND OR SET DURING THE PERFORMANCE OF THE FIELD SURVEY HEREBY LIMIT THE UNDERSIGNED LIABILITY RELATED TO PROFESSIONAL NEGLIGENCE ACTS, ERRORS, OR OMISSIONS TO AN AMOUNT NOT TO EXCEED THE FEE CHARGED. FOR ADDITIONAL LIABILITY COVERAGE FROM THE UNDERSIGNED, A FEE OF 2% OF THE LIABILITY AMOUNT REQUESTED MUST BE PAID TO THE UNDERSIGNED PRIOR TO COMMENCEMENT OF THIS PROJECT.

REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED AND SIGNED WITH AN ORIGINAL SIGNATURE.

UNLESS STATED OTHERWISE HEREON, THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OF TITLE OR TITLE SEARCH OF THE PROPERTY.

TREE LOCATIONS SHOWN ON THIS PROPERTY ARE APPROXIMATE AS IT IS IMPOSSIBLE TO TRULY LOCATE THE CENTER OF A TREE.

#### VICINITY MAP:



#### OWNER'S ACKNOWLEDGMENT

THE OWNER OF THE LAND SHOWN ON THIS PLAT ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL DRAIN EASEMENTS HEREON SHOWN FOR THE PURPOSE AND CONSIDERATION EXPRESSED.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

#### PREPARER'S ACKNOWLEDGEMENT

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CITY OF SMYRNA SUBDIVISION REGULATIONS.

REGISTERED - SEAN J. MURPHY, GEORGIA LA 001156



Preliminary Plat of Lot 72a & 72b  
Adams Subdivision or lot 72 of Belmont Subdivision  
Land Lot 519, 17th District, 2nd Section, Cobb County, Georgia

For: Ronald S. Dickinson

#### CITY OF SMYRNA DEVELOPMENT CERTIFICATION

THIS PLAT, HAVING BEEN SUBMITTED TO THE CITY OF SMYRNA AND HAVING BEEN FOUND TO COMPLY WITH THE CITY OF SMYRNA SUBDIVISION REGULATIONS AND THE CITY OF SMYRNA ZONING REGULATIONS IS APPROVED SUBJECT TO INSTALLATION AND DEDICATION OF EASEMENTS AND OTHER IMPROVEMENTS IN ACCORDANCE WITH THE STANDARDS DESIGN SPECIFICATIONS.

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

MAYOR, CITY OF SMYRNA \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING AND ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEERING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

BUILDING INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

#### PLAT NOTES:

- 1.) NUMBER 4 REBAR SET AT ALL CORNERS UNLESS OTHERWISE SHOWN.
- 2.) TOTAL AREA: 0.405 ACRES
- 3.) TOTAL NUMBER OF LOTS: 2
- 4.) DENSITY 4.9 UNITS/ACRE
- 5.) SETBACKS:  
FRONT BUILDING LINE: 25'  
REAR BUILDING LINE: 35'  
SIDE BUILDING MAJOR LINE: 15'  
SIDE BUILDING LINE: 10'
- 6.) CURRENT ZONING: R20
- 7.) BUILDING SETBACKS ALONG ROAD MEASURED FROM R.O.W.
- 8.) THERE ARE NO CULTURAL FEATURES, INCLUDING CEMETERIES AND OR HISTORIC FEATURES ON THIS PROPERTY.

THIS PLAT FILED IN OFFICE \_\_\_\_\_

RECORDED IN PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

CIN # \_\_\_\_\_

CLERK, COBB COUNTY SUPERIOR COURT \_\_\_\_\_ DATE \_\_\_\_\_

SUBJECT TO PROTECTIVE COVENANTS

RECORDED IN DEED BOOK \_\_\_\_\_, PAGES \_\_\_\_\_

NO PART OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE) AS DEFINED BY FIRM, COMMUNITY PANEL NUMBER 13067C0119H, REVISED DATE OF MARCH 4, 2013, COBB COUNTY, GEORGIA, AND UNINCORPORATED AREAS.

#### REFERENCE MATERIAL:

1. WARRANTY DEEDS FILE # 06004884 AND #6005004 TO RONALD S. DICKINSON, RECORDED IN COBB COUNTY, GEORGIA, IN DEED BOOK 14046 PAGE 742 AND 720 RESPECTIVELY.
2. A Plat of The Property of J.H. Taylor by R.E. Smith dated 06/10/1944.
3. A Plat of The Property of Henry Adams and J.M. Adams Lot Nos. 72 - 73 - Belmont Subdivision by J.P. Phillips, date January 24, 1919.

Prepared by Sean J. Murphy  
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