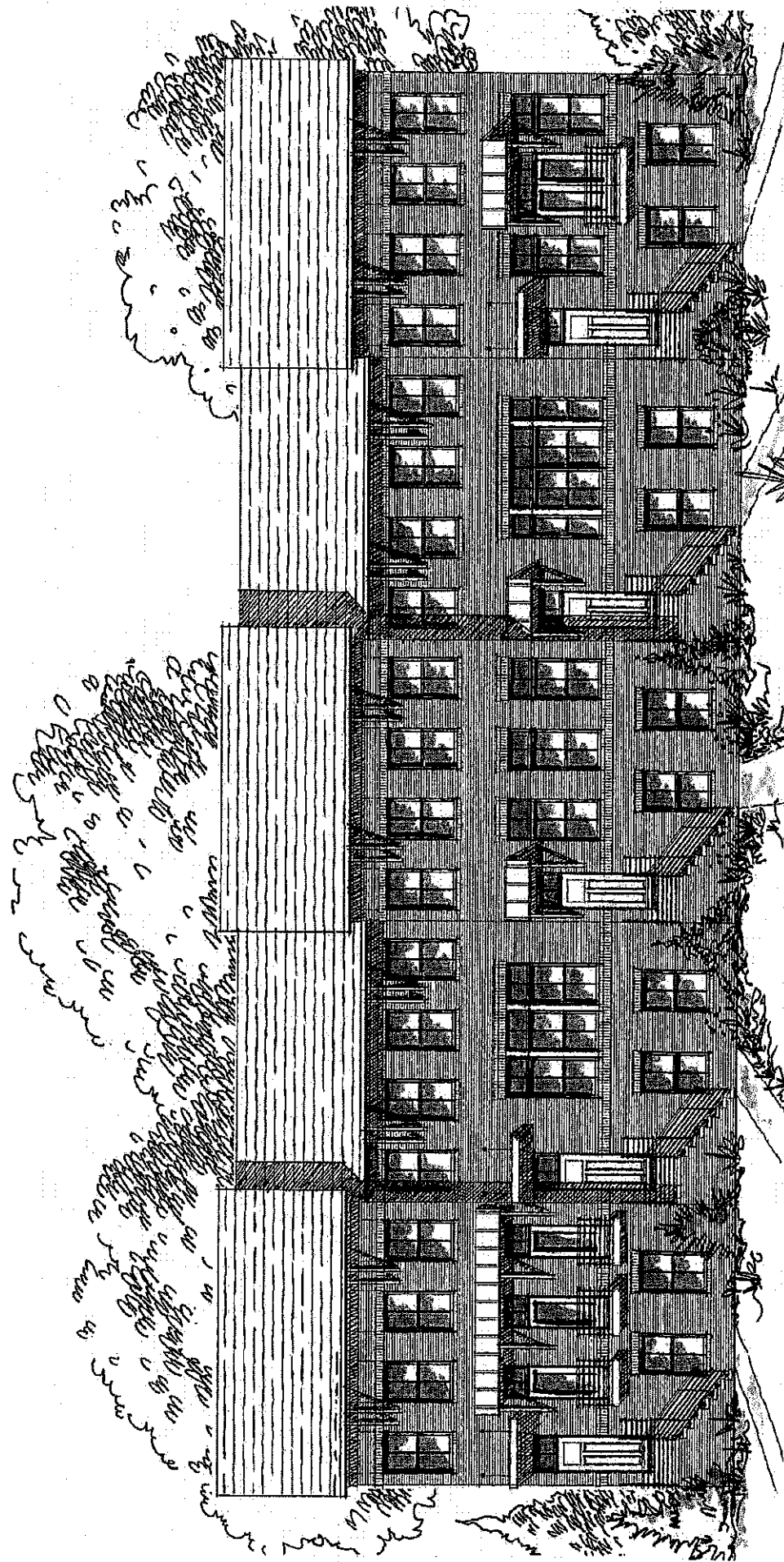




Proposed Elevation "A"

Residential Design by:
Main Street Designs of Georgia, LLC
3050 Royal Blvd. South, Suite 135
Alpharetta, GA 30022
404.480.3881

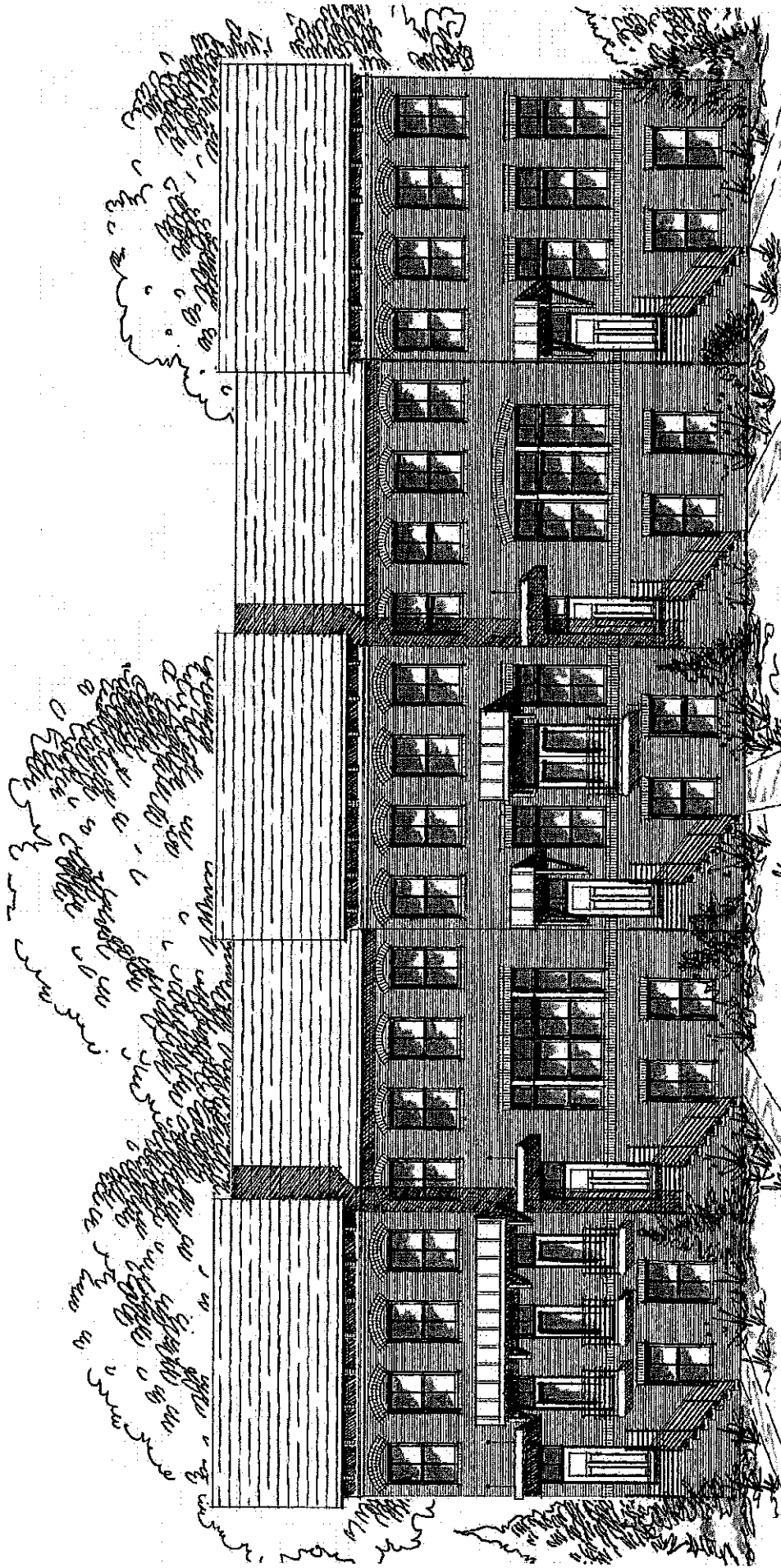


Carver Hills Community Townhomes

Atlanta, Georgia

Builder:
Century Communities, Inc.
3091 Governors Lake Drive
Norcross, GA 30071
678.533.1160

CENTURY
COMMUNITIES



Proposed Elevation "B"

Residential Design by:
Main Street Designs of Georgia, LLC
3050 Royal Blvd. South, Suite 135
Alpharetta, GA 30022
404.480-3481

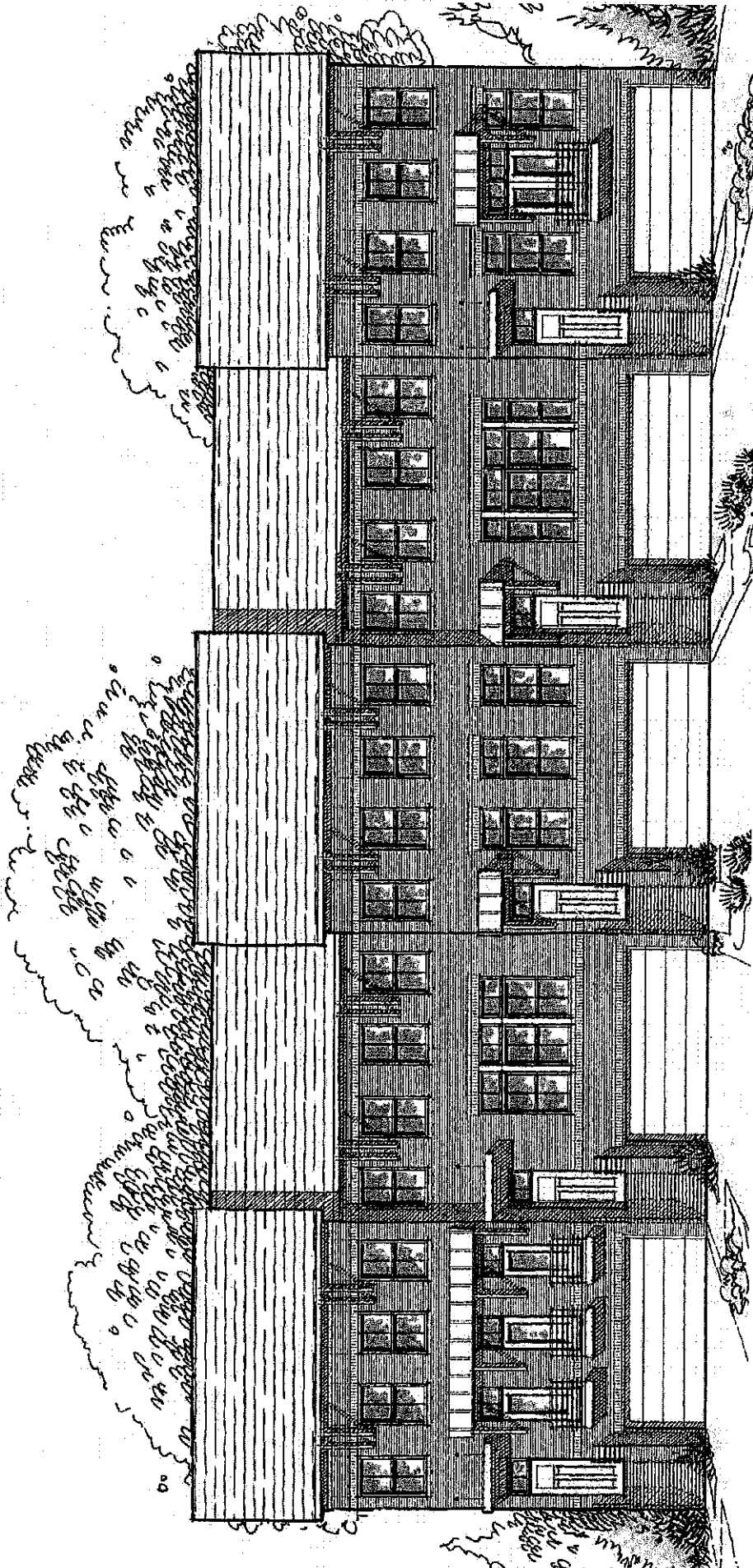


Carver Hills Community Townhomes

Atlanta, Georgia



Builder:
Century Communities, Inc.
3091 Governors Lake Drive
Norcross, GA 30071
678.533.1160



Proposed Front Entry Garage Elevation

Residential Design by:
Main Street Designs of Georgia, LLC
3050 Royal Blvd. South, Suite 135
Alpharetta, GA 30022
404.480.3881



Carver Hills Community Townhomes

Atlanta, Georgia

Builder:
Century Communities, Inc.
3091 Governors Lake Drive
Norcross, GA 30071
678.533.1160

CENTURY
COMMUNITIES

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	AIR COOLING UNIT
A.D.J.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
A.H.U.	AIR HANDLING UNIT
A.L.U.M.	ALUMINUM
A.P.P.R.O.X.	APPROXIMATELY
B.L.K.	BLACK
B.M.	BEAM
B.O.T.T.O.M.	BOTTOM
B.R.G.	BRASS
B.T.W.N.	BETWEEN
C.E.I.L.I.N.G.	CEILING
C.O.L.	COLUMN
C.O.N.C.	CONCRETE
C.O.N.T.	CONTINUOUS
C.P.T.	CARPET
D.I.A.	DIAMETER
D.N.	DOWN
D.W.G.	DRAWING
E.A.	EACH
E.L.	ELEVATION
E.L.E.C.	ELECTRIC
E.Q.U.A.L.	EQUAL
E.X.T.	EXTERIOR
F.O.U.N.	FOUNDATION
F.F.	FINISH FLOOR
F.T.G.	FOOTING
H.B.	HOSE BIB
H.D.R.	HEADER
H.G.T.	HEIGHT
M.A.X.	MAXIMUM
M.I.N.	MINIMUM
N.T.S.	NOT TO SCALE
O.P.N.G.	OPENING
R.E.F.	REFRIGERATOR
R.B.L.	RESILIENT FLOORING
S.I.M.	SIMILAR
T.Y.P.	TYPICAL
V.L.T.	VAULT
U.N.G.	UNLESS NOTED OTHERWISE
W.D.	WOOD

PROJECT INFO:

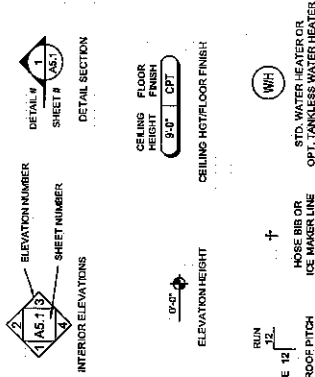
STRUCTURAL:

KSE ENGINEERING 1900 AM DRIVE, SUITE 201
QUAKERTOWN, PA 18851
PHONE: (215) 641-2271



CONTACT: KENNETH KEEN
EMAIL: keen@kse-eng.com

KEY TO SYMBOLS



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A2.2	BASEMENT FOUNDATION
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A3.2	SECOND FLOOR PLAN
E1.1	FIRST FLOOR ELECTRICAL PLAN
E1.2	SECOND FLOOR ELECTRICAL PLAN
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S2	SECOND FLOOR FRAMING
S3	ROOF FRAMING
S4	STRUCTURAL GENERAL NOTES
SD	STRUCTURAL DETAILS

Cumberland

REVISIONS

NUMBER	DATE	DESCRIPTION
1	11.15.16	11.15.16

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES: FOLLOW ALL APPLICABLE STATE AND LOCAL CODES AS ADOPTED.

PRODUCT: SINGLE FAMILY RESIDENCE

GEORGIA STATE SUPPLEMENTS AND AMENDMENTS "Current adopted year"

INTERNATIONAL RESIDENTIAL CODE (BUILDING) "Current adopted year"

INTERNATIONAL FIRE PREVENTION CODE (BUILDING) "Current adopted year"

INTERNATIONAL PLUMBING CODE (BUILDING) "Current adopted year"

INTERNATIONAL MECHANICAL CODE (BUILDING) "Current adopted year"

INTERNATIONAL FUEL GAS CODE (BUILDING) "Current adopted year"

INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING) "Current adopted year"

NATIONAL ELECTRICAL CODE "Current adopted year"

STAIR NOTES:

8'-1" STAIR NOTE:

14 TREADS AT 10" EACH VERIFY

15 RISERS AT 7'-7.48" = 111 3/4" TOTAL FIELD VERIFY

9'-1" STAIR NOTE:

16 TREADS AT 10" EACH VERIFY

17 RISERS AT 7'-7.28" = 123 3/4" TOTAL FIELD VERIFY

10'-1" STAIR NOTE:

17 TREADS AT 10" EACH VERIFY

18 RISERS AT 7'-7.54" = 135 3/4" TOTAL FIELD VERIFY

NOTES:

EXTERIOR WALLS ZONE 3: R-13 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-38 BATTS MINIMUM. VERIFY

CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION: R-30 BATTS MINIMUM. VERIFY

FLOOR OVER GARAGE: R-19 BATTS MINIMUM. VERIFY

ATTIC KNEEWALL: R-19 BATTS MINIMUM. VERIFY

WINDOW GLAZING U-Factor: 0.33

PER STATE RESIDENTIAL CODE REQUIREMENTS TO BE DETERMINED BY BUILDER.

COVER SHEET

DRAWING TITLE

MODEL

SHEET NO.

Cumberland

1234

11.15.16

PLAN NUMBER:

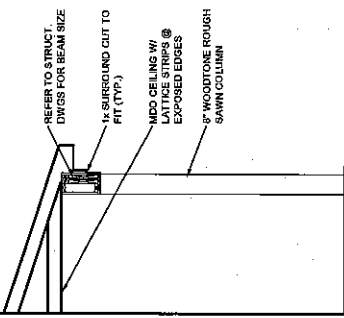
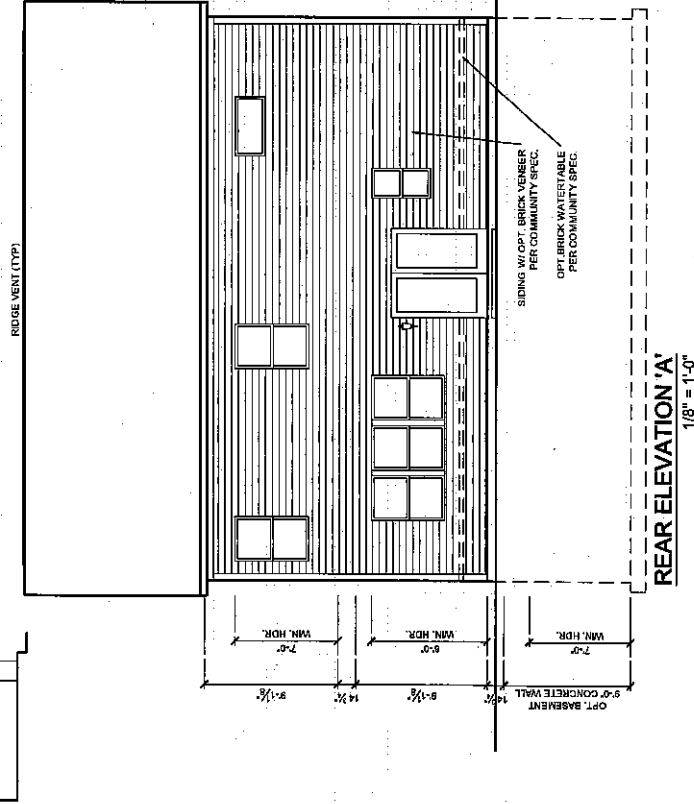
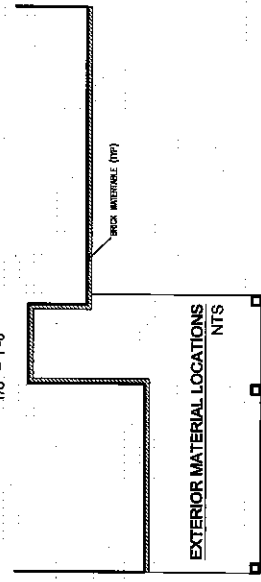
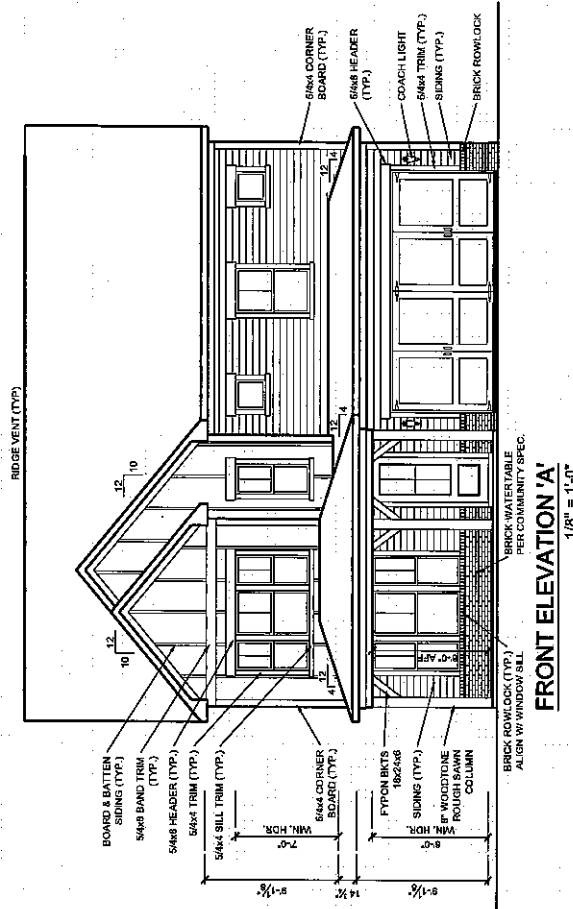
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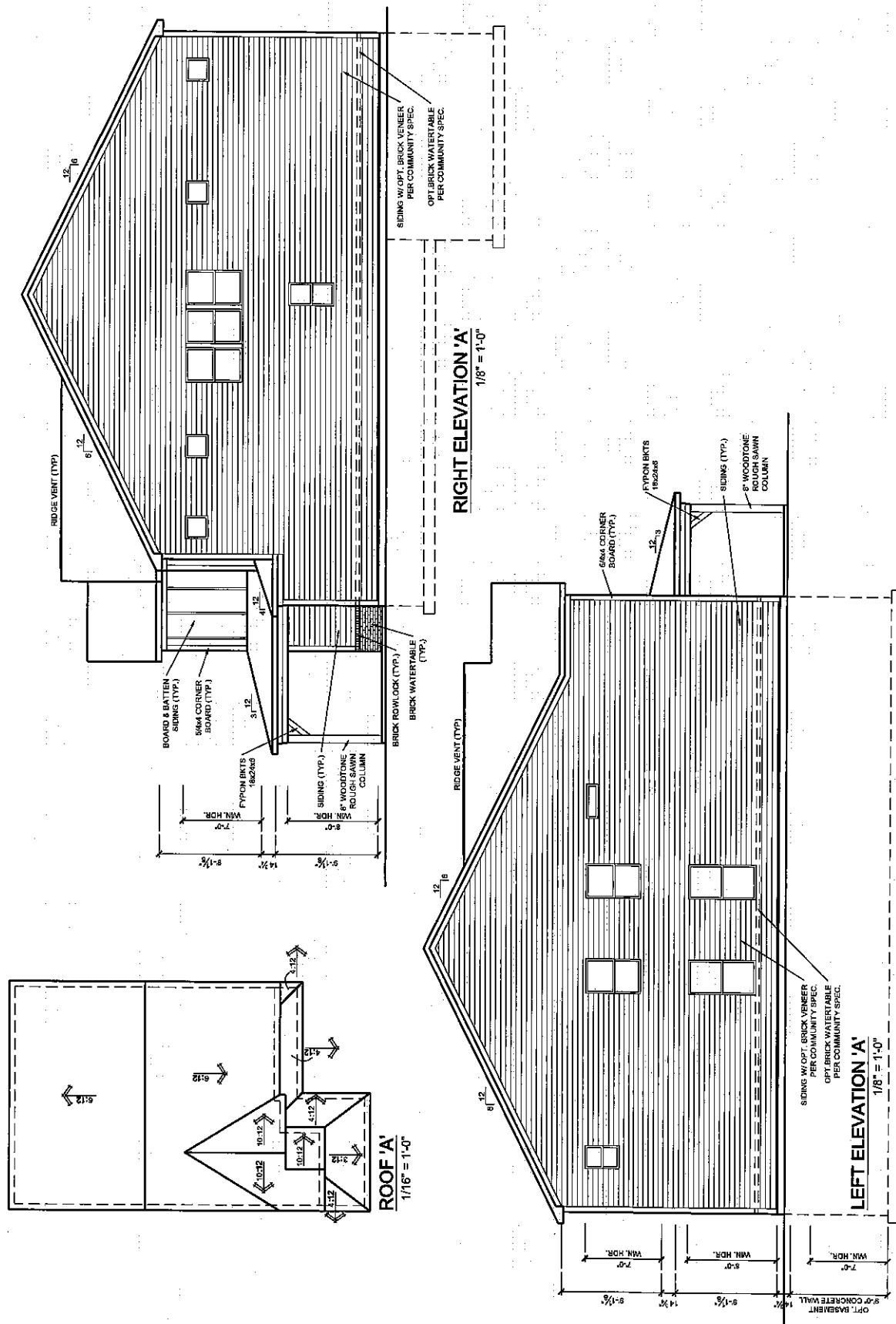
CENTURY COMMUNITIES

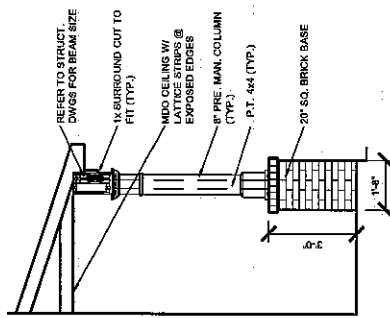
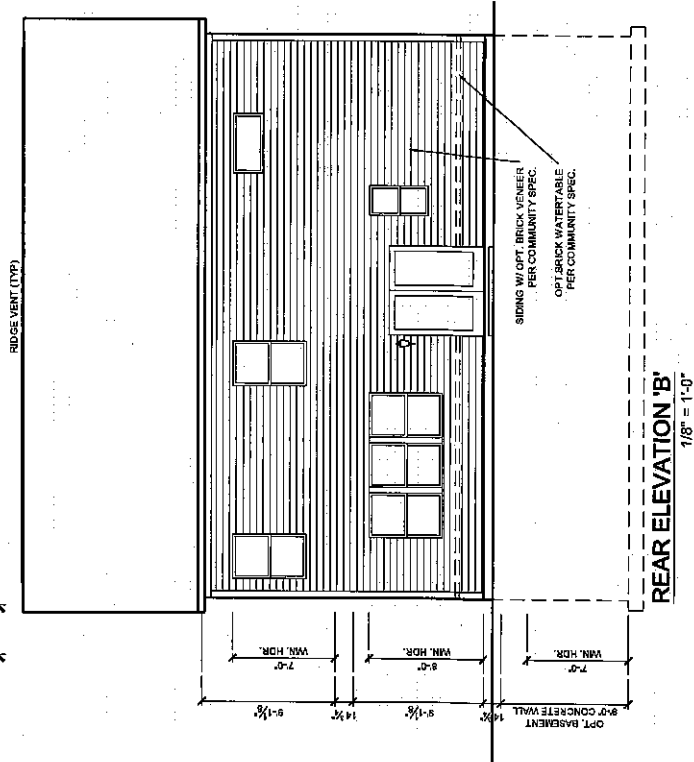
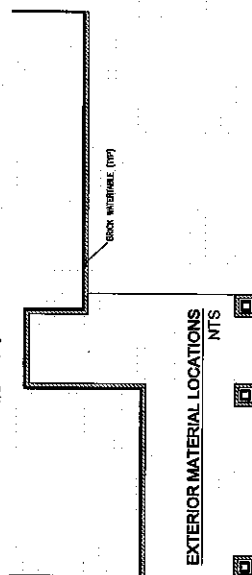
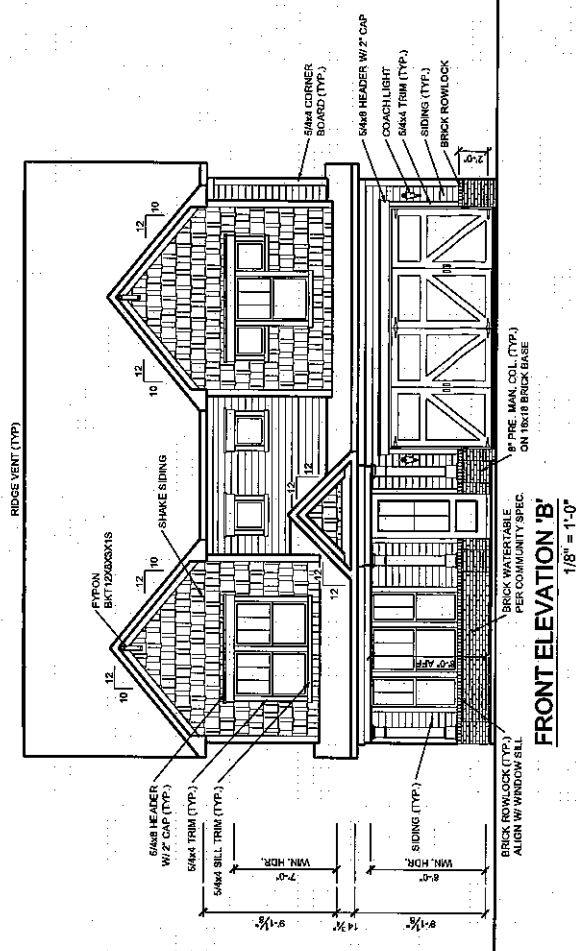
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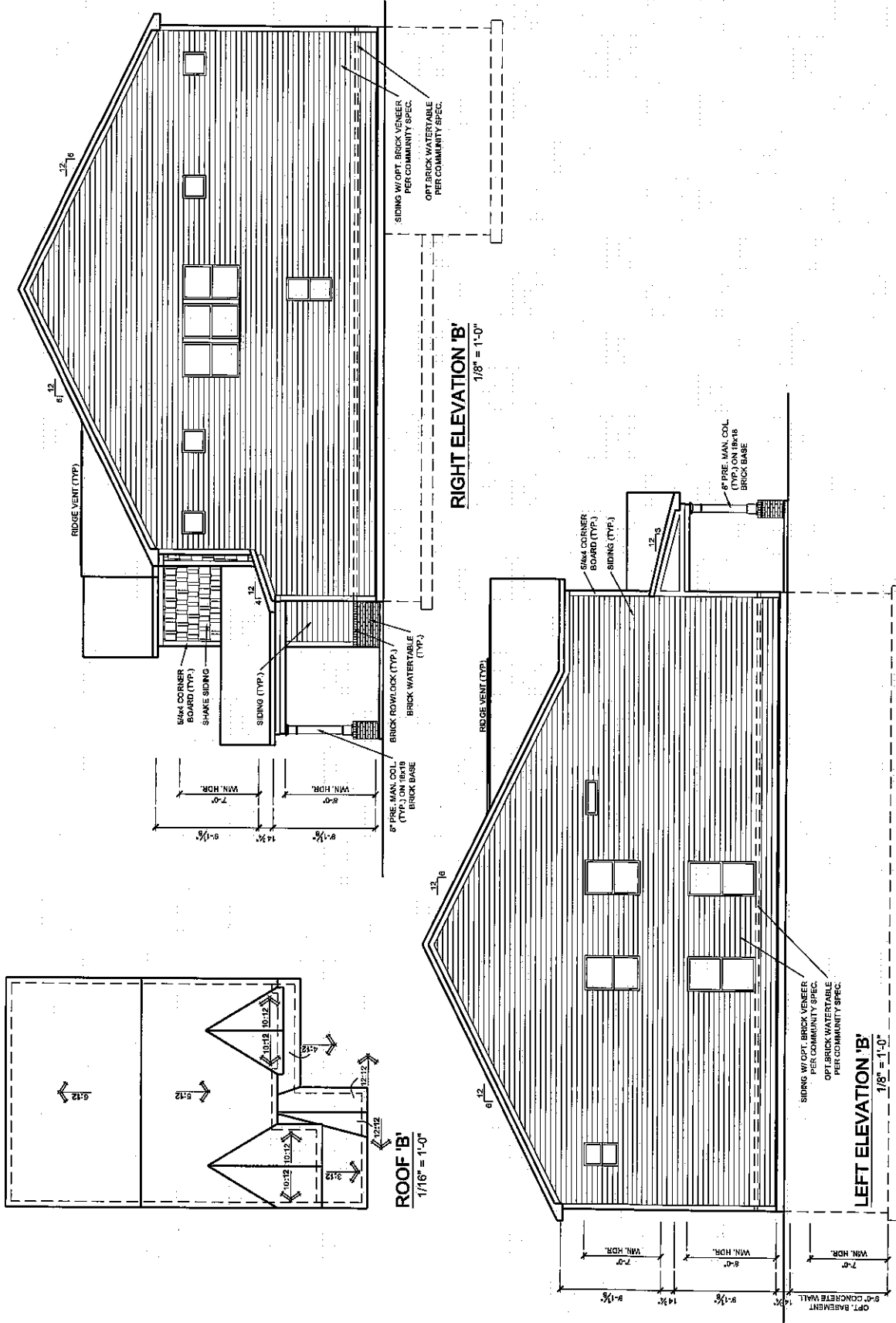
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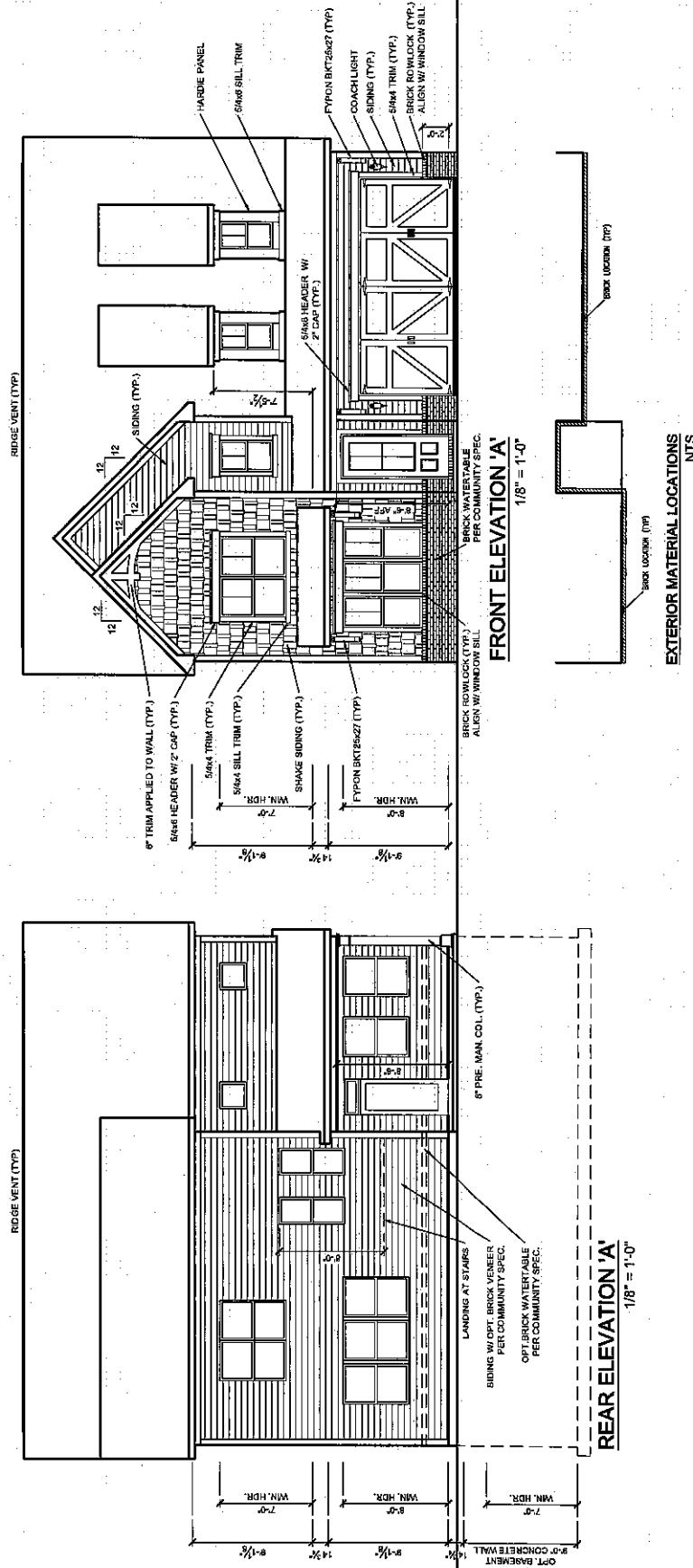
REVISION DESCRIPTION





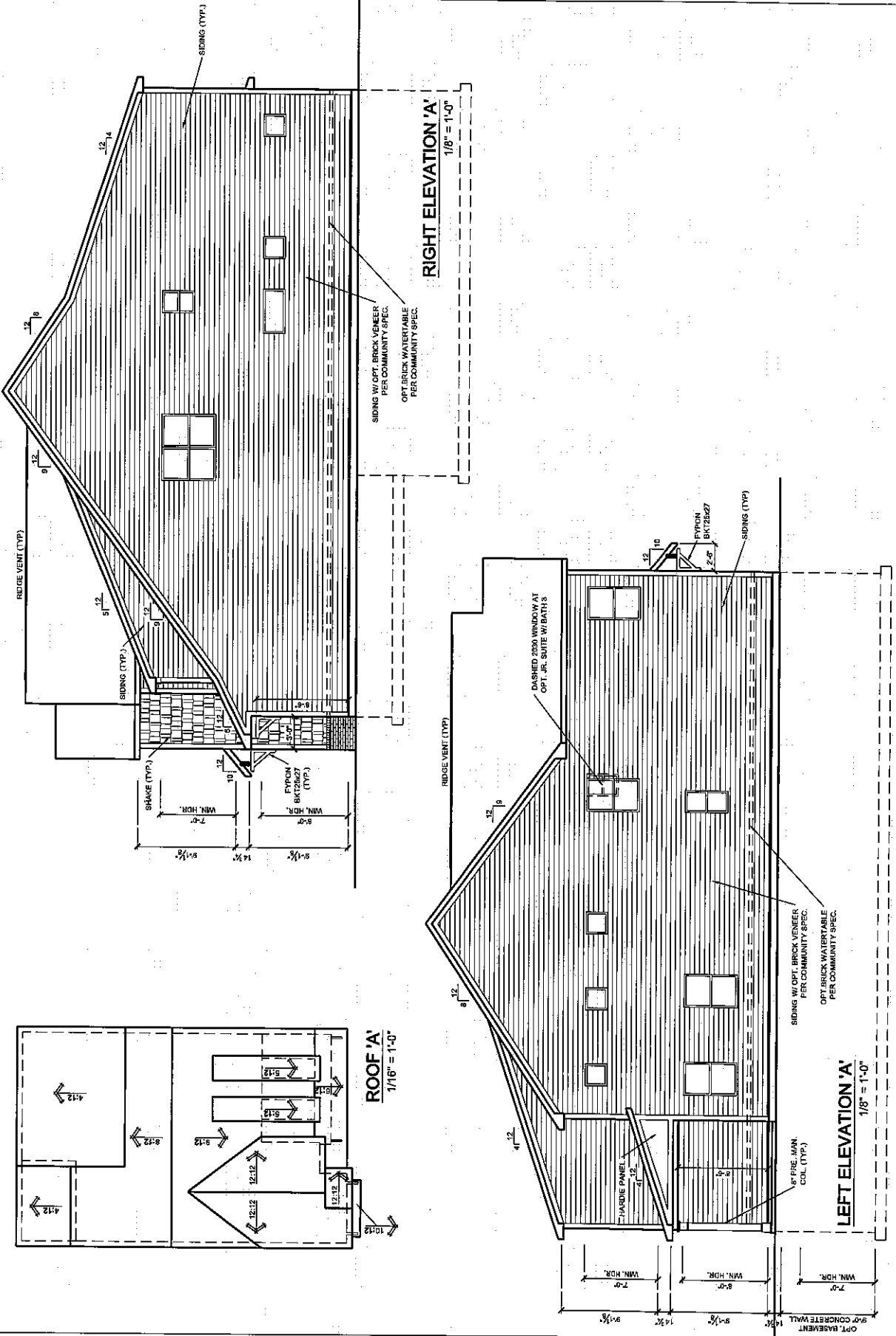
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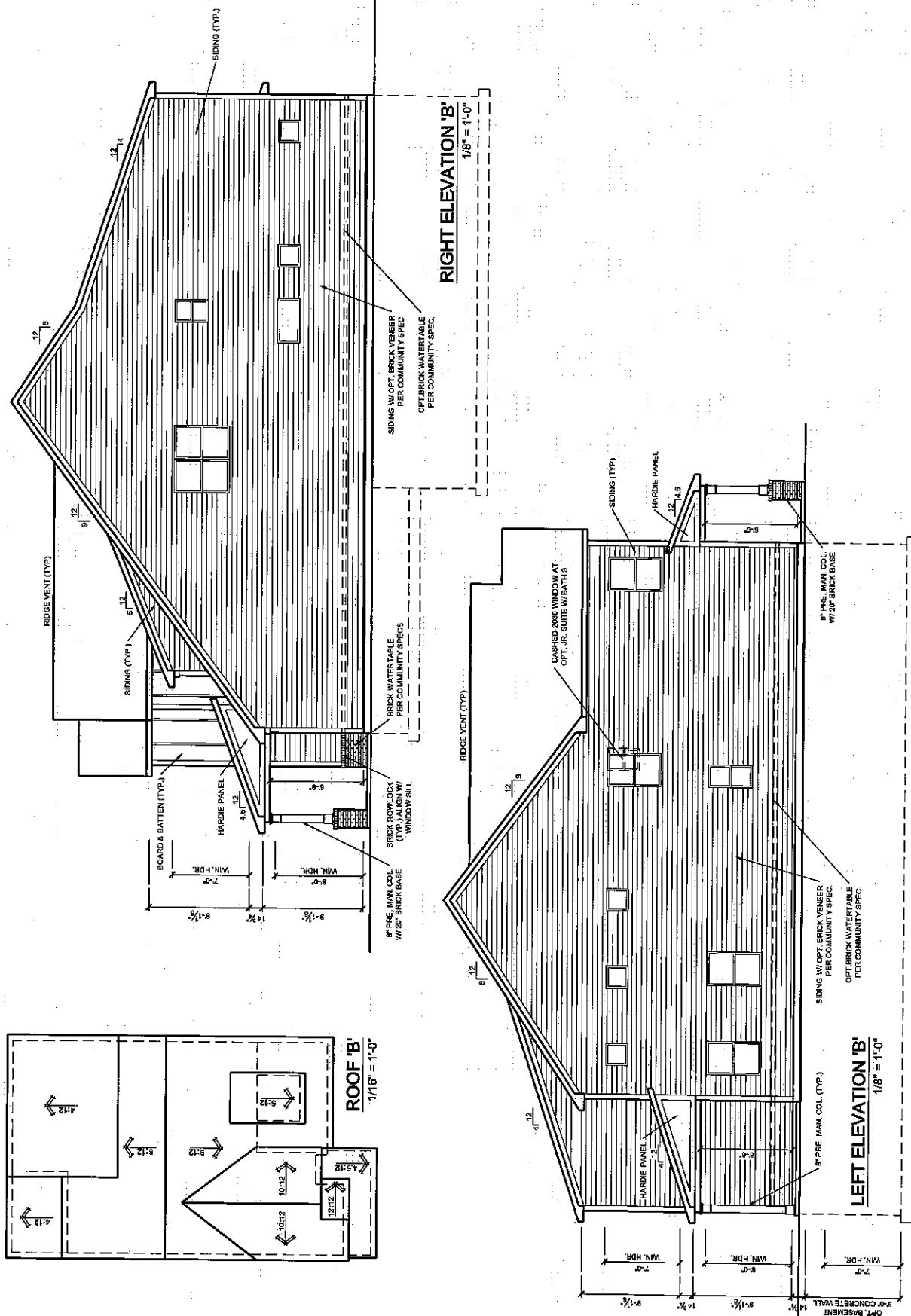


REVISION NUMBER				
REFER TO COVER SHEET FOR DESCRIPTION				

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OPT. COVERED DECK
LEFT ELEVATION
1/8" = 1'-0"



ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	AIR COOLING UNIT
A.DJ.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
A.H.U.	AIR HANDLING UNIT
ALUM.	ALUMINUM
APPROX.	APPROXIMATELY
B.L.K.	BLOCK
B.M.	BEAM
B.O.T.	BOTTOM
B.R.G.	BEARING
B.T.W.N.	BETWEEN
C.L.G.	CEILING
C.O.L.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
C.P.T.	CARPET
D.A.	DIAMETER
D.N.	DOWN
D.W.G.	DRAWING
E.A.	EACH
E.L.	ELEVATION
ELEC.	ELECTRIC
E.O.	EQUAL
EXT.	EXTERIOR
F.D.N.	FOUNDATION
F.F.	FINISH FLOOR
F.T.G.	FOOTING
H.B.	HOSE BB
H.D.R.	HEADER
H.G.T.	HEIGHT
H.S.	HORIZONTAL
M.A.X.	MAXIMUM
M.I.N.	MINIMUM
N.T.S.	NOT TO SCALE
O.P.N.G.	OPENING
REF.	REFRIGERATOR
R.S.L.	RESILIENT FLOORING
S.M.	SIMILAR
T.Y.P.	TYPICAL
V.L.T.	VAULT
U.N.O.	UNLESS NOTED OTHERWISE
W.O.	WOOD

PROJECT INFO:

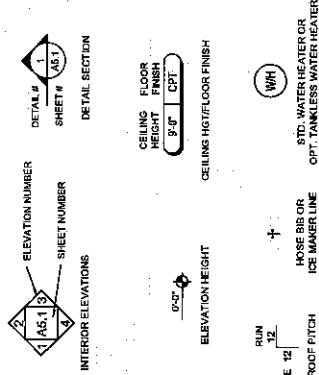
STRUCTURAL:

KSE ENGINEERING 1900 AM DRIVE SUITE 201
QUAKERTOWN, PA 18951
PHONE (215) 841-2271



CONTACT: KENNETH KEEN
EMAIL: kee@kse-eng.com

KEY TO SYMBOLS



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S1	FIRST FLOOR FRAMING
S2	SECOND FLOOR FRAMING
S3	ROOF FRAMING
SN	STRUCTURAL GENERAL NOTES
SD	STRUCTURAL DETAILS

Wilmington

REVISIONS

NUMBER	DATE	DESCRIPTION
1	11.15.16	RELEASE DATE
2	1234	PLAN NUMBER

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

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INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING) "Current adopted year"

NATIONAL ELECTRICAL CODE "Current adopted year"

STAIR NOTES:

8'-1" STAIR NOTE:

(USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)

14 TREADS AT 10" EACH VERIFY

15 RISERS AT 4+7.6" = 111 3/4" TOTAL FIELD VERIFY

9'-1" STAIR NOTE:

(USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)

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17 RISERS AT 4+7.28" = 123 3/4" TOTAL FIELD VERIFY

10'-1" STAIR NOTE:

(USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)

17 TREADS AT 10" EACH VERIFY

18 RISERS AT 4+7.54" = 133 3/4" TOTAL FIELD VERIFY

NOTES:

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CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION: R-30 BATTS MINIMUM VERIFY

FLOOR OVER GARAGE: R-15 BATTS MINIMUM VERIFY

ATTIC KNEEWALL: R-15 BATTS MINIMUM VERIFY

WINDOW GLAZING U-Factor: 0.33

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER



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REVISION NUMBER

REFER TO COVER SHEET FOR DESCRIPTION

MODEL: Wilmington

SHEET NO: CS

COVER SHEET

PLAN NUMBER: 1234

RELEASE DATE: 11.15.16

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