

SITE LOCATION MAP (NTS)

The map shows the site boundary in black, situated between the Charley River and the Mackenzie River. Key roads include the Mackenzie Highway (Hwy 101), the Mackenzie River, and the Mackenzie River. The map also shows the location of the site relative to the Mackenzie River and the Mackenzie River. The map is titled 'SITE LOCATION MAP (NTS)'.



SITE DATA:	
TOTAL SITE AREA	81,888 ACRES
ZONING	
EXISTING JURISDICTION	CITY OF SWEDENA
EXISTING ZONING	Conditional MU
PROPOSED ZONING	Conditional MU
FOR-SALE DENSITY CALCULATIONS	
DETACHED SINGLE FAMILY LOTS,	65 LOTS
24 TRACT 1 TOWNHOMES	74 UNITS
24 TRACT 2 TOWNHOMES	70 UNITS
24 TRACT 3 TOWNHOMES	70 UNITS
24 TRACT 4 TOWNHOMES	35 UNITS
TOTAL TOWNHOMES	233 UNITS
TOTAL RESIDENTIAL UNITS	298 UNITS
MULTI-FAMILY CALCULATIONS	
TOTAL MULTI-FAMILY UNITS	310 UNITS
TOTAL MULTI-FAMILY PARKING REQUIRED (4.5 PER UNIT)	465 SPACES
TOTAL MULTI-FAMILY PARKING PROVIDED	499 SPACES
SINGLE FAMILY SETBACK REQUIREMENTS:	
FRONT YARD	LENGTH: 15 FEET
SIDE YARD	5 FEET
REAR YARD	15 FEET

[illegible]

LAND LOT 61, 171, 172, 174, 175, & 284
18th DISTRICT

CITY OF SMYRNA
COBB COUNTY
GEORGIA

PLANNERS AND ENGINEERS COLLABORATIVE

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Age Group	Percentage
0	~100%
50	~100%
100	~100%
200	~100%
300	~100%

SCALE: 1" = 100'
DATE: January 6, 2017
PROJECT: 08031.00C

THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE.



GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/27/2018

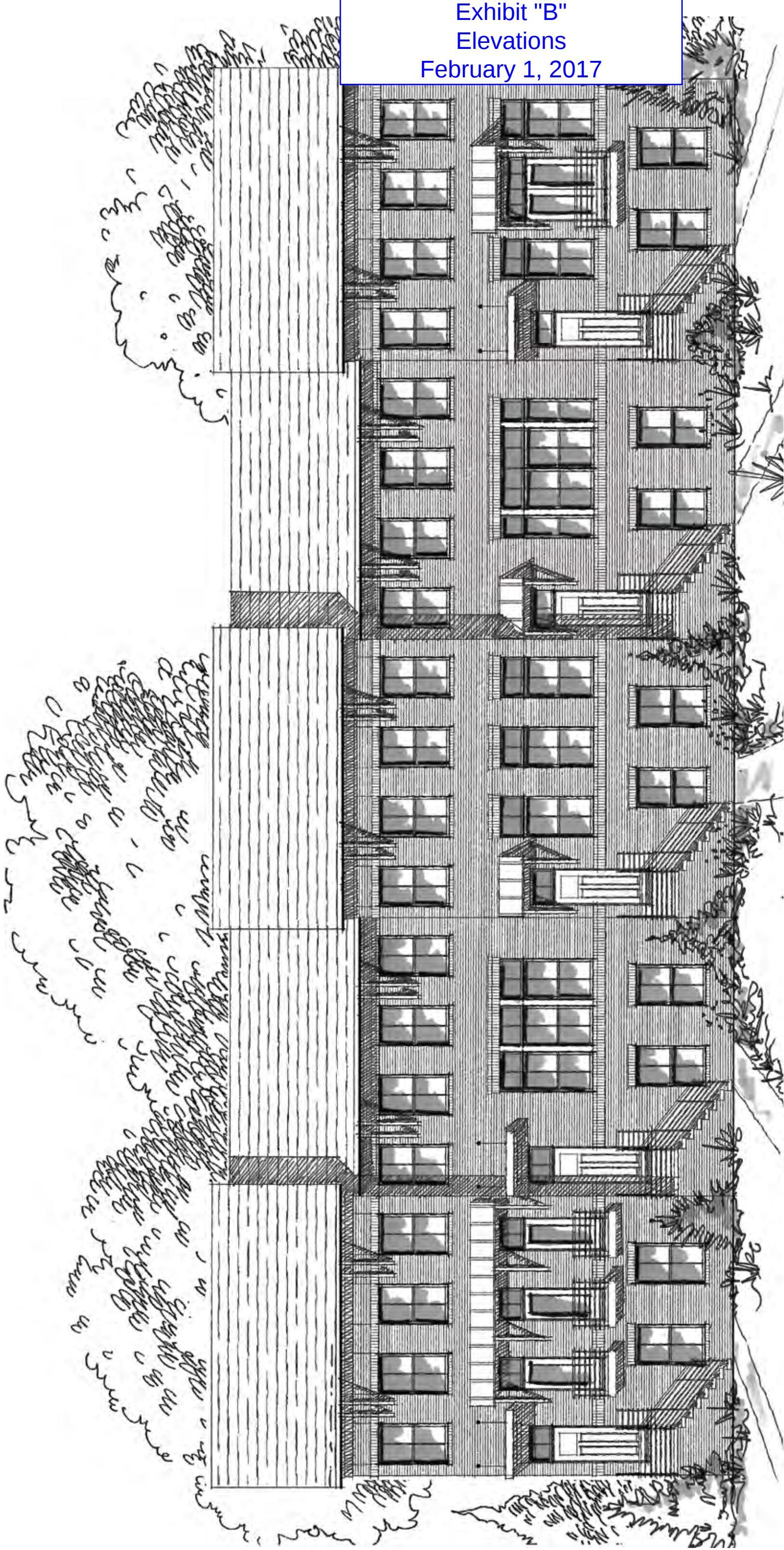


Z1

SHEET



Know what's **below**.
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Proposed Elevation "A"



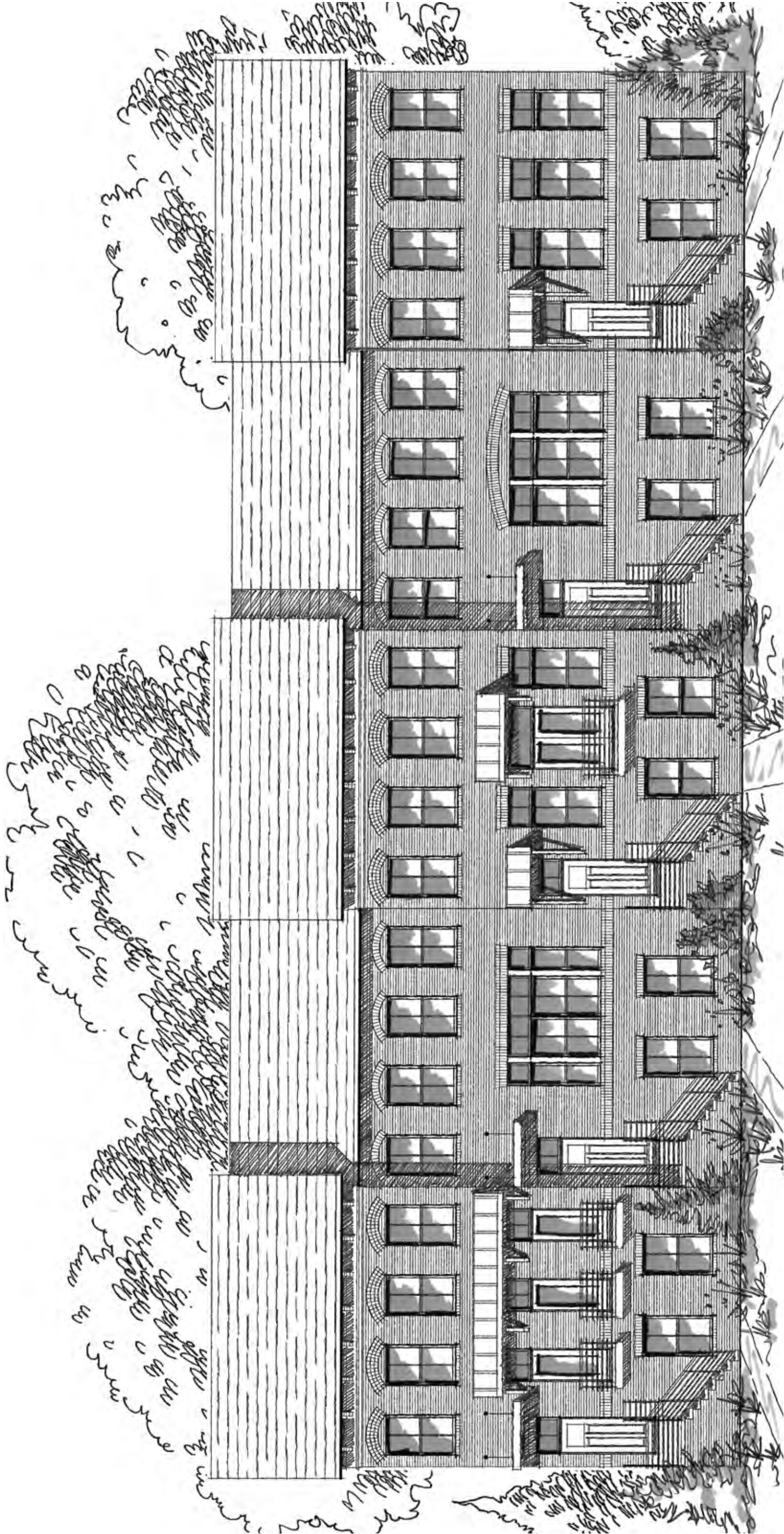
Residential Design by:
Main Street Designs of Georgia, LLC
3050 Royal Blvd. South, Suite 135
Alpharetta, GA 30022
404.480-3881



Builder:
Century Communities, Inc.
3091 Governors Lake Drive
Norcross, GA 30071
678.533.1160

Carver Hills Community Townhomes

Atlanta, Georgia



Proposed Elevation "B"



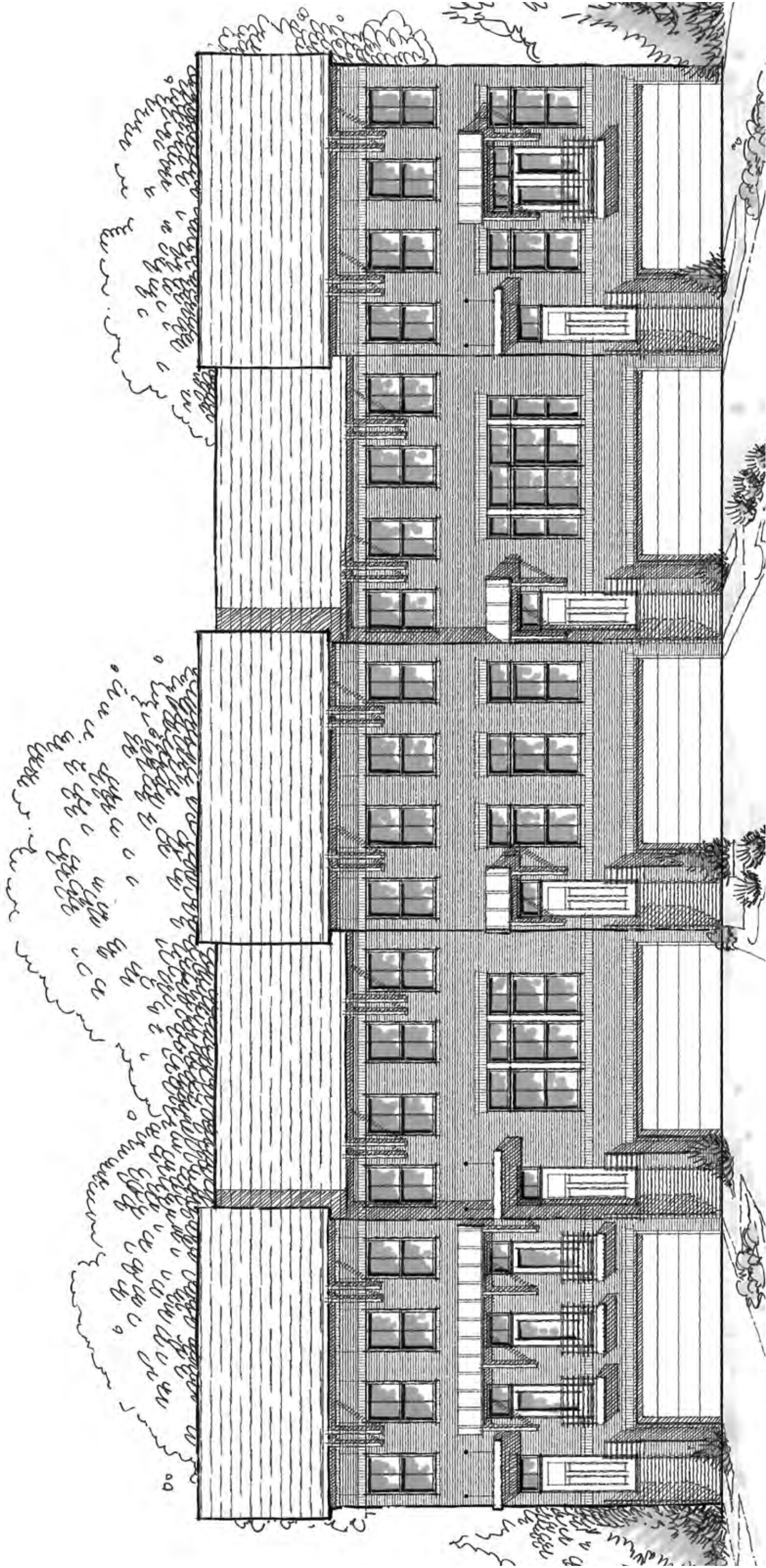
Residential Design by:
Main Street Designs of Georgia, LLC
3050 Royal Blvd. South, Suite 135
Alpharetta, GA 30022
404.480-3881



Builder:
Century Communities, Inc.
3091 Governors Lake Drive
Norcross, GA 30071
678.533.1160

Carver Hills Community Townhomes

Atlanta, Georgia



Proposed Front Entry Garage Elevation



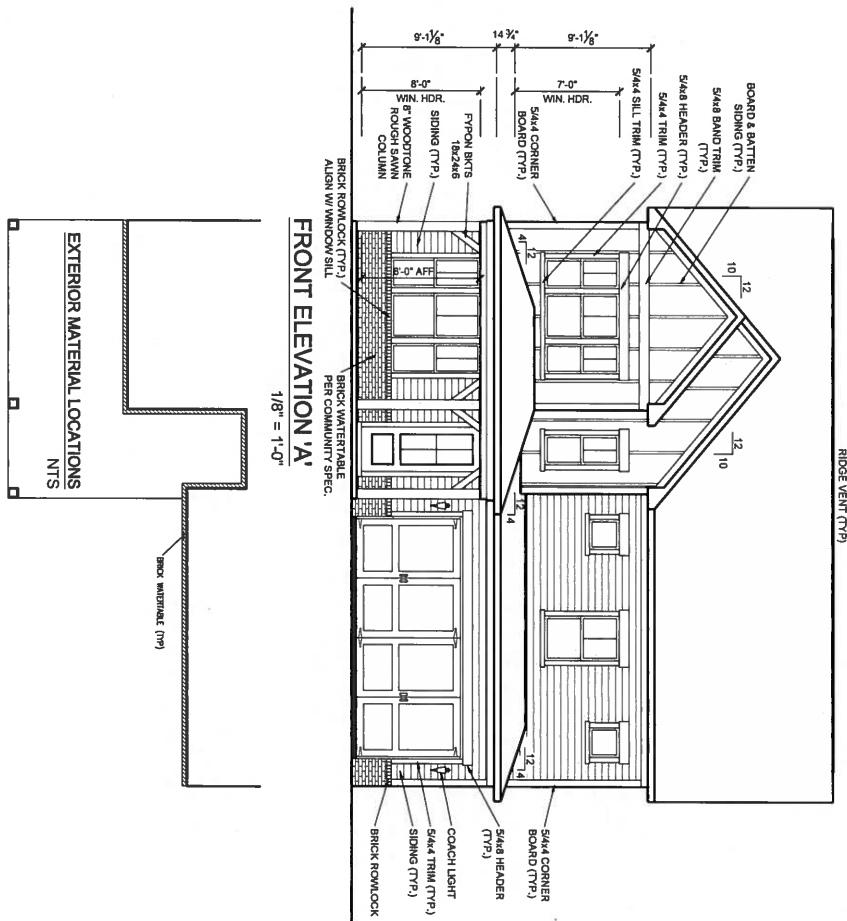
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Norcross, GA 30071
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Atlanta, Georgia



REVISION NUMBER				

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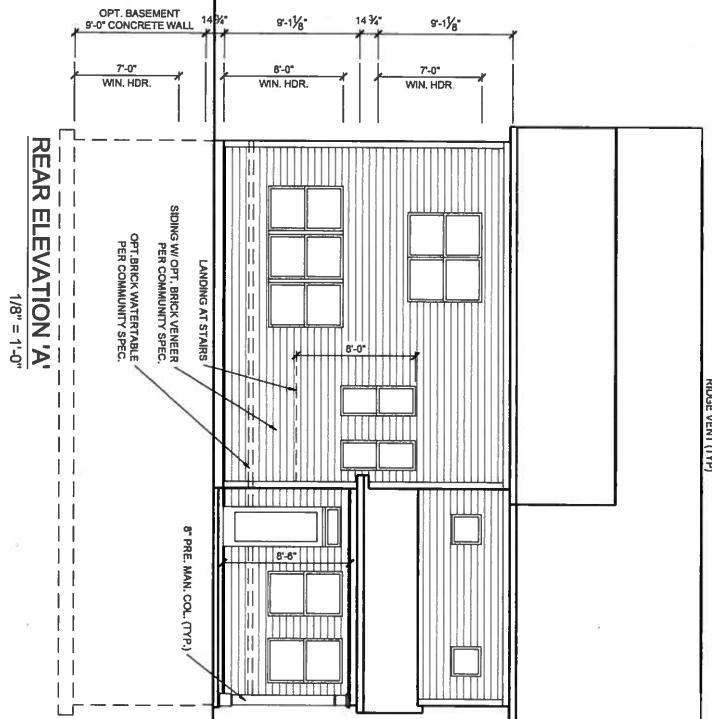
PLAN NUMBER:	1234
RELEASE DATE:	11.15.16

SHEET NO:

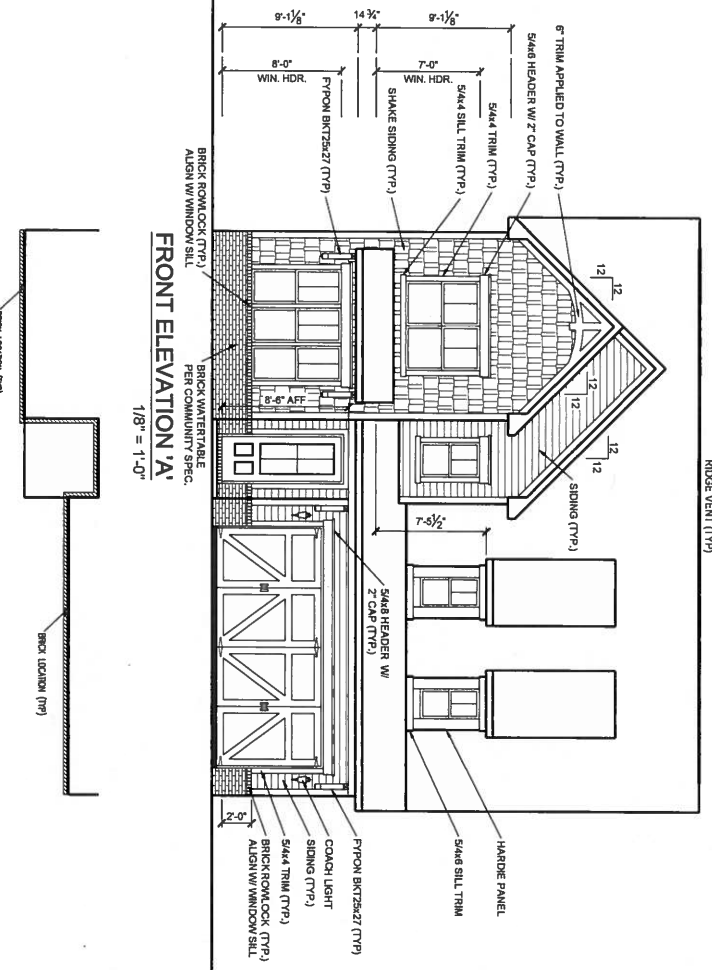
MODEL:
Cumberland

DRAWING TITLE:
FRONT & REAR ELEVATION

A1.1A



REAR ELEVATION 'A'



FRONT ELEVATION 'A'

EXTERIOR MATERIAL LOCATIONS
NTS

SHEET NO:

A1.1A

MODEL:

Sapelo

DRAWING TITLE:

FRONT & REAR ELEVATION

PLAN NUMBER:

1234

RELEASE DATE:

10.24.16



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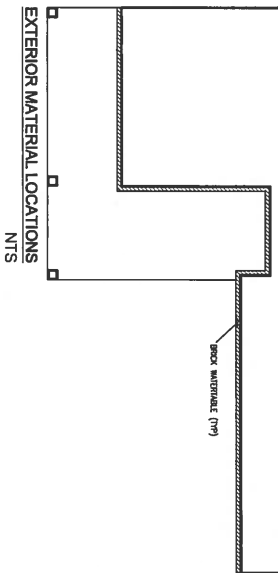
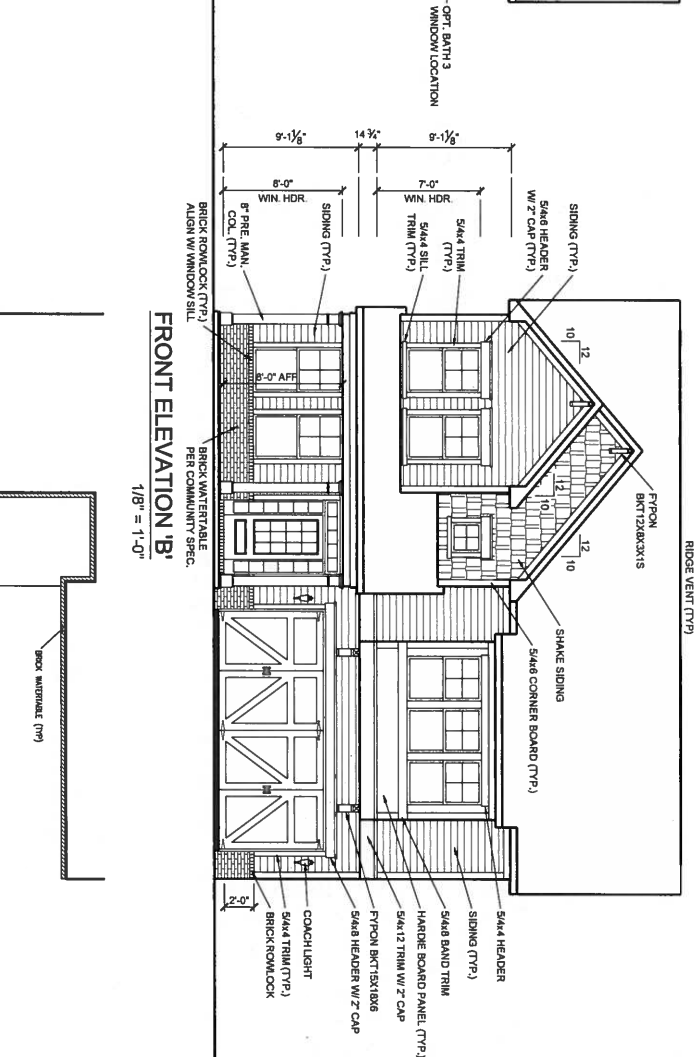
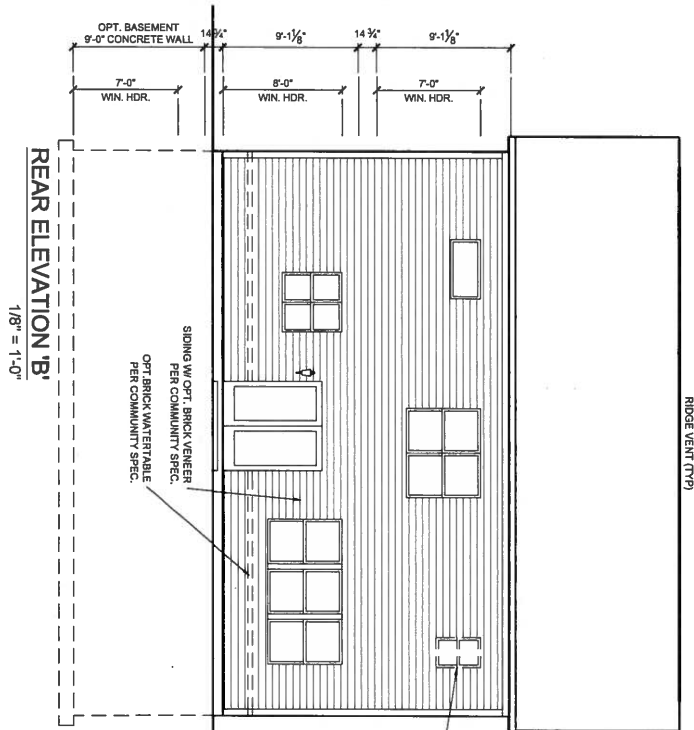
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	DRAWING TITLE: FRONT & REAR ELEVATION	RELEASE DATE: 10.24.16		

REVISION NUMBER									
REFER TO COVER SHEET FOR DESCRIPTION									



A1.1A



A1.1B

SHEET NO.

MODEL:
Wilmington

DRAWING TITLE:
FRONT & REAR ELEVATION

PLAN NUMBER:
1234

RELEASE DATE:
11.15.16

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BUILDING II & III ELEVATIONS

SCALE: 3/32" = 1'-0" (24 x 36 SHEET)

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The importance of a strong foundation
 are the best practices of a high-performing firm.
 3 Primary functions: 1) set and manage the standards of the system
 2) monitor & audit 3) evaluate

1. Research is a key component to superior performance
 2. Technology, innovation and building cost matters. Companies that
 invest are able to outpace their peers. Refer to innovation and the
 3. Range of technical capabilities and measurement

01/10/2017

**RIVERVIEW LANDING
PRESTWICK DEVELOPMENT
COBB COUNTY, GA**

HPA#2016416



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Exhibit "C"

Trip Generation Report

February 1, 2017



Ms. Laura Beall, December 22, 2016

Project Trip Generation Comparison

Project traffic, for the purposes of this evaluation, is defined as the vehicle trips expected to be generated by the proposed development. Anticipated trip generation for the *Riverview on the Chattahoochee DRI #2152* and *Riverview Landing* development were calculated using rates and equations contained in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 9th Edition, 2012. The proposed density and the anticipated project trip generation are summarized in **Table 1**.

Table 1: Trip Generation Comparison						
Land Use	ITE Code	Daily Traffic			AM Peak Hour	PM Peak Hour
		Total	Enter	Exit	Total	Total
Riverview on the Chattahoochee DRI #2152 (November 2010) – Cobb County – 81.95 acres						
Warehousing (65,000 SF)	150	340	170	170	65	45
Single-Family Detached (155 units)	210	1,572	786	786	118	156
Apartment (850 units)	220	5,274	2,637	2,637	420	485
Residential Condo/Townhouse (497 units)	230	2,596	1,298	1,298	186	224
Senior Adult Housing – Attached (200 units)	252	617	309	309	40	50
General Office Building (55,000 SF)	710	526	263	263	73	112
Shopping Center (95,000 SF)	820	6,568	3,284	3,284	151	579
Total		17,556	8,778	8,778	1,037	1,619
Riverview Landing (September 2010) – City of Smyrna – 83.0 acres						
Single-Family Detached (155 units)	210	706	353	353	55	71
Apartment (850 units)	220	2,002	1,001	1,001	156	188
Residential Condo/Townhouse (497 units)	230	1,348	674	674	102	121
Total		4,056	2,028	2,028	313	380
Percentage Difference In Total Project Trips		-76.9%	-	-	-69.8%	-76.5%

Note: No reductions for alternative transportation modes (walking, cycling, transit, carpooling, etc.) and mixed-use were taken.

Attachments:

- Trip Generation Analyses
- DRI #2152 Site Plan
- Proposed Site Plan

Trip Generation Analysis (9th Ed.)
Riverview on the Chattahoochee DRI #2152
November 2010
Cobb County, GA

Land Use	Intensity	Daily Trips	AM Peak Hour		PM Peak Hour			
			Total	In	Out	Total	In	Out
			Proposed Site Traffic					
150 Warehousing	65,000 s.f.	340	65	51	14	45	11	34
210 Single-Family Detached Housing	155 d.u.	1,556	118	30	88	156	98	58
220 Apartment	850 d.u.	5,274	420	84	336	485	315	170
230 Residential Condominium/Townhouse	497 d.u.	2,596	186	32	154	224	150	74
252 Senior Adult Housing - Attached	200 occ. d.u.	696	24	9	15	18	11	7
710 General Office Building	30,000 s.f.	526	73	64	9	112	19	93
820 Shopping Center	95,000 s.f. gross	6,568	151	94	57	579	278	301
Gross Trips		17,556	1,037	364	673	1,619	882	737

Trip Generation Analysis (9th Ed.)
Riverview Landing
September 2016
City of Smyrna, GA

Land Use	Intensity	Daily Trips	AM Peak Hour		PM Peak Hour				
			Total	In	Out	Total	In	Out	
<u>Proposed Site Traffic</u>									
150 Warehousing	0 s.f.	0	0	0	0	0	0		
210 Single-Family Detached Housing	65 d.u.	706	55	14	41	71	45		
220 Apartment	310 d.u.	2,002	156	31	125	188	122		
230 Residential Condominium/Townhouse	234 d.u.	1,348	102	17	85	121	81		
252 Senior Adult Housing - Attached	0 occ. d.u.	0	0	0	0	0	0		
710 General Office Building	0 s.f.	0	0	0	0	0	0		
820 Shopping Center	0 s.f. gross	0	0	0	0	0	0		
Gross Trips			4,056	313	62	251	380	248	132

A map of the area around the Chattahoochee River. The river flows from the top left towards the bottom right. A black-outlined polygon labeled "SITE" is located on the north bank of the river, between Peachtree Rd SE and Old Atlanta Rd NE. Other roads shown include Mitchell Dr SE, Old Atlanta Rd NE, Peachtree Rd SE, N Georgia St, and Sycamore St. Landmarks such as Lake Lanier Park, Kennesaw Mountain State Park, and various schools are also indicated. The word "Buckhead" appears at the top right.

SITE DATA:	
TOTAL SITE AREA	83.0 ACRES
ZONING	
ZONING JURISDICTION	CITY OF SNYRNA
EXISTING ZONING	PVC VILLAGE
FOR-SALE DENSITY CALCULATIONS	
DETACHED SINGLE FAMILY LOTS	65 LOTS
24 TRACT 1 TOWNHOMES	74 UNITS
24 TRACT 2 TOWNHOMES	54 UNITS
24 TRACT 3 TOWNHOMES	54 UNITS
24 TRACT 4 TOWNHOMES	35 UNITS
TOTAL TOWNHOMES	234 UNITS
TOTAL RESIDENTIAL UNITS	299 UNITS
MULTI-FAMILY CALCULATIONS	
TOTAL MULTI-FAMILY UNITS	310 UNITS
TOTAL MULTI-FAMILY + PARKING PROVIDED (1.5 PER UNIT)	465 SPACES
TOTAL MULTI-FAMILY PARKING PROVIDED	499 SPACES
SINGLE-FAMILY SETBACK REQUIREMENTS:	
FRONT YARD	LENGTH: 20 FEET
SIDE YARD	5 FEET
REAR YARD	15 FEET

SITE DATA:	
TOTAL SITE AREA	83.0 ACRES
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SIDE YARD	5 FEET
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CITY OF SMYRNA
COBB COUNTY
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NO.	DATE	BY	DESCRIPTION
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50	100	200	300
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SCALE: 1" = 100'
DATE: SEPT. 30, 2016
PROJECT: 08031.00F

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CERTIFICATION # 0000059389 EXP. 10/27/20



CG
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