JENNIFER B. ALEWINE 404.885.3061 telephone 404.962.6574 facsimile jennifer.alewine@troutmansanders.com



TROUTMAN SANDERS LLP
Attorneys at Law
Bank of America Plaza
600 Peachtree Street NE, Suite 52206
Atlanta, Georgia 30308-2216
404.885.3000 telephone
troutmansanders.com

August 11, 2017



VIA HAND DELIVERY

Mr. Ken Suddreth Community Development Director City of Smyrna 3180 Atlanta Road SE Smyrna, GA 30080

> Re: Application for a Special Land Use Permit for a 140-foot Wireless Telecommunications Facility to be Located at 1700 Roswell Street, Smyrna, Georgia

Dear Mr. Sudderth:

I am pleased to submit on behalf of Verizon Wireless (VAW), LLC, d/b/a Verizon Wireless, ("Verizon Wireless"), the following Special Land Use Permit application to allow for the construction and operation of a 140-foot telecommunications facility on property owned by Public Storage and located at 1700 Roswell Street, Smyrna, Georgia. Pursuant to the requirements of the applicable sections of the City of Smyrna Code of Ordinances (the "Ordinance"), Section 501.16, "Special land use permit for television, land mobile, communication, microwave, and radio transmission antennae and towers," this letter of intent and the attached exhibits provide all basic and supplementary information required by the City for consideration of this request. Included among these exhibits are the following:

- Fully executed Special Land Use Permit Application (Exhibit "A");
- Special Warranty Deed and plat for the subject property (Exhibit "B");
- Construction Design package that includes a Survey, Aerial Site Plan, Overall Site Plan, Detailed Site Plan, Tower Elevation and Antenna Mount Details, Grading and Erosion Control Plan, Fence Details, Electrical Plan, and Grounding Site Plan (Exhibit "C");
- Legal descriptions for the two lease areas, ingress-egress easement and utility/temporary construction easement (Exhibit "D");
- Structural Analysis prepared by Sabre Industries Tower and Poles documenting tower height and design, total anticipated capacity, evidence of structural integrity, and structural failure characteristics of the facility (Exhibit "E");

TROUTMAN SANDERS

Mr. Ken Suddreth August 11, 2017 Page 2

- A letter prepared by Verizon Wireless' Radio Frequency Engineer demonstrating how the site will fit into Verizon Wireless' existing network; providing the proposed height is the minimum height needed to allow necessary capacity and coverage improvements; and determining there are no existing towers or structures within the search area suitable for collocation (Exhibit "F");
- Propagation Maps prepared by Verizon Wireless' Radio Frequency Engineer showing the overall search area and coverage area, how the site fits into Verizon Wireless' existing network, and the significantly improved capacity and enhanced coverage provided by the proposed facility (Exhibit "G");
- A "Determination of No Hazard to Air Navigation" letter from the Federal Aviation Administration ("FAA") concluding the proposed facility would not be a hazard to air navigation (Exhibit "H");
- Documentation from the Cobb County Tax Commissioner stating all taxes due on the subject property have been paid (Exhibit "I");
- A copy of Verizon Wireless' Federal Communication Commission ("FCC") license for the site (Exhibit "J");
- Photo Simulations of the proposed site from five surrounding vantage points surrounding (Exhibit "K"); and
- A check in the amount of \$250 for the Special Land Use Permit application fee.

For this proposed facility, Verizon Wireless intends to lease an 18' x 10' 6" area from Public Storage on which to locate the proposed 140-foot telecommunications facility (130-foot monopole with a 10-foot lightning rod) and related ground equipment. The ground equipment will be located inside the storage unit immediately adjacent to the proposed tower location and thereby completely hidden from public view. Moreover, the tower will be surrounded by a 6-foot wooden fence that will screen the base of the tower from view from Hawthorne Avenue and surrounding properties. Access to the leased premises will be provided via an access and utility easement running through the parking lot of the storage facility to Roswell Street. Section 501.16(2) of the Ordinance allows for new telecommunications facilities upon approval of a Special Land Use Permit.

As provided in the Radio Frequency letter attached hereto as Exhibit "F," the primary need for the proposed telecommunications facility site is to improve 4G coverage and data throughput for Verizon customers along Hawthorn Avenue, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road. The proposed site is also needed to provide additional system capacity to relieve existing Verizon sites, particularly the Promenade site located at 2400 Cobb Parkway. Currently, users of the existing Promenade site demand more capacity than the site is capable of delivering, resulting in system capacity constraints.

TROUTMAN SANDERS

Mr. Ken Suddreth August 11, 2017 Page 3

The Propagation Maps attached hereto as Exhibit "G" demonstrate the capacity relief the proposed site will provide to the Promenade site. The proposed location of the new site is critical to the effectiveness of the capacity offload. As shown on the Propagation Maps, the high traffic areas of Hawthorne Avenue, Roswell Street and Matthews Street are positively impacted by the proposed site.

The search area for this project is centered near Roswell Street and Hawthorne Avenue with an approximate radius of .5 miles. Verizon Wireless has made every reasonable attempt to utilize existing structures to meet the network design goals. Upon thorough examination of the service area, Verizon Wireless did not identify any existing towers located within the search area suitable for collocation. The closest existing tower is located just outside the radius of the search area and is owned by American Tower Corporation ("ATC"). The ATC tower is too close to Verizon's existing Hickory Hill site and would simply overlap coverage already provided by that site. Furthermore, collocation on the ATC tower would not provide optimal coverage along the residential areas between Windy Hill Road and Spring Road.

The proposed tower height of 140 feet with an antenna centerline of 130 feet is the minimum height required to provide the necessary capacity and coverage improvements set forth above. In addition, the proposed tower height will enhance customer experience near the Promenade site by providing improved coverage and data speeds for customers in the surrounding area. The tower height as proposed is imperative to allow adequate contiguous incar and in-building coverage for residents, businesses, and commuters along Hawthorn Avenue, Roswell Street, Matthews Street, and all the residential areas between Windy Hill Road and Spring Road. Telecommunications coverage is increasingly important for everyday communications as well as in the event of an emergency or severe weather.

Based on the proposed height of the tower a 30-foot setback to Hawthorne Avenue is required. The proposed tower is located 29.5 feet from Hawthorne Avenue and thus a small variance of .5 feet is requested. The existing site is the only location on the property that allows enough room for the tower installation and still provides access for emergency vehicles to move around the compound. The Structural Analysis attached as Exhibit "E" provides for a fall zone radius of 29.5 feet, meaning that in the very rare event of tower failure the tower would be contained within the boundaries of the subject property.

The facility will be designed to accommodate up to three (3) carriers in addition to Verizon Wireless. Verizon Wireless and other carriers collocating on this tower will be able to provide significant service improvements to this portion of the City of Smyrna.

Verizon Wireless telecommunications facilities are entirely automated. Technicians typically perform maintenance once a month on each facility. This monthly maintenance does not significantly impact local traffic in the area. The proposed site will have no significant impact on water or sewage systems. Verizon Wireless asserts the proposed tower will be

TROUTMAN SANDERS

Mr. Ken Suddreth August 11, 2017 Page 4

/jab

Enclosures

maintained in compliance with the standards contained in applicable local building codes and the Electronic Industries Association. As stated in the FAA Determination of No Hazard letter (Exhibit "H") the facility "does not exceed obstruction standards and would not be a hazard to air navigation." Accordingly, the letter states, "marking and lighting are not necessary for aviation safety." As with all its facilities, Verizon Wireless will construct and operate this facility in accordance with all applicable FCC and FAA regulations.

I appreciate your thoughtful consideration of this request, I encourage you to contact me should you have any questions or require any additional information, and I look forward to working with you on this important matter.

Sincerely,

Jennifer B. Alewine

Jerpuss permission

Wexpuss permission

Exhibit A

APPLICATION FOR SPECIAL LAND USE PERMIT TO THE CITY OF SMYRNA

Please Type or Print Clearly

Application APPLICANT: Verizon Wireless Name: David C. Kirk and Jennifer B. Alewine, as attorneys for Verizon Wireless (Representative's name, printed) Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061 Cell Phone: 404-285-2211 Fax Number: E-Mail Address: jennifer.alewine@troutmansanders.com Signature of Representative: David C. Kirk TITLEHOLDER: Name: Storage Equities, Inc. a California corporation DBA Public Storage (Titleholder's name, printed) Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Low Kind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation: Advertised:	npleted by City)
Name: David C. Kirk and Jennifer B. Alewine, as attorneys for Verizon Wireless (Representative's name, printed) Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061	ion No:
Name: David C. Kirk and Jennifer B. Alewine, as attorneys for Verizon Wireless (Representative's name, printed) Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061	Date:
(Representative's name, printed) Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061	
(Representative's name, printed) Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061	
Address: Troutman Sanders LLP, 600 Peachtree Street, Suite 5200, Atlanta, GA 303 Business Phone: 404-885-3061	
Business Phone: 404-885-3061	308
Signature of Representative: Dury C. Kirle TITLEHOLDER: Name: Storage Equities, Inc. a California corporation DBA Public Storage (Titleholder's name, printed) Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Lori Kirl - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	: 404-962-6574
Name: Storage Equities, Inc. a California corporation DBA Public Storage (Titleholder's name, printed) Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Lou Kind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
Name: Storage Equities, Inc. a California corporation DBA Public Storage (Titleholder's name, printed) Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: Home Phone: Signature of Titleholder: Low Kind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation: Home Phone: P&Z Recommendation: Home Phone: Home Phon	
(Titleholder's name, printed) Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Low Lind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
Address: Public Storage, 701 Western Avenue, Glendale, CA 91201 Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Lou Kund - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
Business Phone: 818-244-8080 Cell Phone: Home Phone: E-mail Address: Ikind@publicstorage.com Signature of Titleholder: Loui kind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
E-mail Address: Ikind@publicstorage.com Signature of Titleholder:	
Signature of Titleholder: Lou Kind - Public Storage (Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
(Attach additional signatures, if needed) (To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
(To be completed by City) Received: Heard by P&Z Board: P&Z Recommendation:	
Received: Heard by P&Z Board: P&Z Recommendation:	
Heard by P&Z Board: P&Z Recommendation:	
P&Z Recommendation:	
Advertised:	
Description of the Control of the Co	
Posted:	

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } S.S.

On July 11, 2017 before me, Sarah You, a Notary Public in and for said County and State, personally appeared, Lori Kind, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature:

(Notary Seal)

SARAH YOU Commission # 2128392 Notary Public - California

Los Angeles County My Comm. Expires Sep 28, 2019



ACKNOWLEDGMENT OF SIGNATURE AUTHORIZATION

This will confirm that as Wireless Leasing Manager for Public Storage, Lori Kind is authorized to execute and take any necessary action on behalf of Public Storage and its related entities in connection with planning, zoning and development of wireless lease agreements. Specifically, Letters of Authorization (LOA's), Owners Authorization agreements, Access agreements, standard site walk and testing permissions, various city permits for wireless use such as CUP's, modifications to wireless sites, building permits, design review and wireless / telecom applications and applications for development reviews process.

Acknowledged this 30kday of January, 2015

Public Storage

By: David F. Doll

Senior Vice President and President, Real Estate Group

Public Storage

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of Los Angeles

On <u>Jawaey 30, 2015</u> before me, Meredith A. Allen, Notary Public, personally appeared David F. Doll who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature of Notary Public

MEREDITH A. ALLEN
Commission # 2062662
Notary Public - California
Los Angeles County
My Comm. Expires Apr 18, 2018

Seal

ZONING:	
OD	
Present Zoning	
LAND USE:	
Self-storage facility	
Present Land Use	
For the Purpose of 140-foot telecom	nmunications facility and related ground equipment
Size of Tract 2.8 acres	
Location 1700 Roswell Street, Smyr	rna, GA 30080
	d. If not applicable, please provide nearest intersection, etc.)
Land Lot (s) 17	District 63
DESCRIPTION OF PROPOSE. To allow for the location and operatio a 10-foot lightning rod) and related gr	on of a 140-foot telecommunications facility (130-foot monopole with
(To be completed by City) Recommendation of Planning Cor	mmission:
Council's Decision:	

North: Roswell Street and RM 12	
East: RM 12 and R 15	
South: Hawthorne Avenue	
West: NS	
CONTIGUOUS LAND USE	
North: Roswell Street and residential	
East: Commercial and residential	
South: Hawthorne Avenue	
Wests Commercial	

CONTIGUOUS ZONING

NOTIFICATION OF CONTIGUOUS OCCUPANTS OR LAND OWNERS TO ACCOMPANY APPLICATION FOR SPECIAL LAND USE PERMIT

intends to make an application for a location and operation of a 140-foot telecommuni	special land use permit for the purpose of select facility (130-foot monopole with a 10-foot
ightning rod) and related ground equipment	
on the premis	es described in the application.
Jeff CARTER	1770 Rossell St. Smigna, GA.
	(364)-000000000000000000000000000000000000

City of Smyrna Special Land Use Permit Application - Page 4 of 7

NOTIFICATION OF CONTIGUOUS OCCUPANTS OR LAND OWNERS TO ACCOMPANY APPLICATION FOR SPECIAL LAND USE PERMIT

												o
od) and rel	lated	ground equ	ipment									
		Oi	the pr	emi	ses descr	ibed in	the i	applicati	on.			
y Feio	4, 0	sont for	ik in I	16	-	246	m	yrna	161	430	0080	_
					-						_	
	nd operation of and rel	nd operation of a	nd operation of a 140-foot (ad) and related ground equal	nd operation of a 140-foot telecome od) and related ground equipment on the pr	nd operation of a 140-foot telecommun od) and related ground equipment on the premi	nd operation of a 140-foot telecommunications food) and related ground equipmenton the premises descr	nd operation of a 140-foot telecommunications facility (od) and related ground equipment on the premises described in	nd operation of a 140-foot telecommunications facility (130-food) and related ground equipment on the premises described in the	nd operation of a 140-foot telecommunications facility (130-foot monopod) and related ground equipment on the premises described in the application	nd operation of a 140-foot telecommunications facility (130-foot monopole word) and related ground equipment on the premises described in the application.	nd operation of a 140-foot telecommunications facility (130-foot monopole with a red) and related ground equipment on the premises described in the application.	on the premises described in the application.

NOTIFICATION OF CONTIGUOUS OCCUPANTS OR LAND OWNERS TO ACCOMPANY APPLICATION FOR SPECIAL LAND USE PERMIT

ntends to make an apposition and operation of a 14						of
ightning rod) and related grou	und equipment					
	on the premi	ses described in t	the application	on.		
NAME.			ADDR	ESS		
Melinda Hubbi	and	1715 H	ADDR	iess ne Ave	Smy	- - -

City of Smyrna Special Land Use Permit Application - Page 4 of 7

Alewine, Jennifer B.

From:

donjarvis@spservices.biz

Sent: To: Wednesday, June 21, 2017 2:52 PM Wendy Doyle; Alewine, Jennifer B.

Subject:

Cottesford-landowner notification

Attachments:

Cottesford-Notification of Cayce Foods Inc.docx

Team,

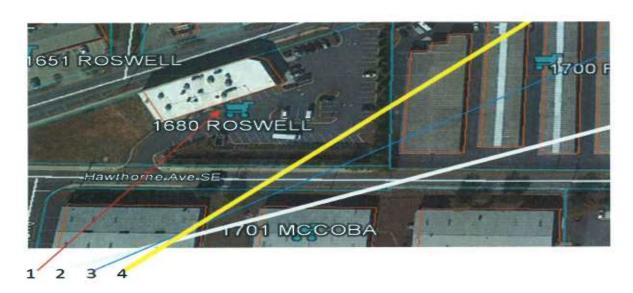
There were 4 landowners in which a notification was required. 3 have signed the notification and gave no push back to the tower. The 4th landowner, Cayce Foods, gave no push back to the tower during a phone conversation detailing the location, but has not responded to attempts as to signing the notification document since that 1st phone conversation.

The landowner has been notified by phone, email, and UPS with physical documents. This landowner has clearly been notified but I have been unable to attain a signature. Please see the attached 3 page doc detailing the property owner and the phone, email, and UPS notifications.

Don Jarvis
<u>Site Placement Services</u>
Chattanooga TN
423-504-8483
Fax 855-220-4525
donjarvis@spservices.biz

New Cell Tower Notification.

Concerning property owner located at 1680 Roswell St Smyrna GA 30080 (Cayce Foods). Chris Ogbuefi is the President and contact. This property is located next to the Verizon proposed site at 1700 Roswell St Smyrna GA 30080.



 \times

1)

1680 ROSWELL

Parcel Id:

17063400480

Address:

1680 ROSWELL St = RA

Owner:

CAYCE PROPERTIES LLC

Ngh Code: None Land Use Code: C4

Contact Is this your business? Claim This Profile

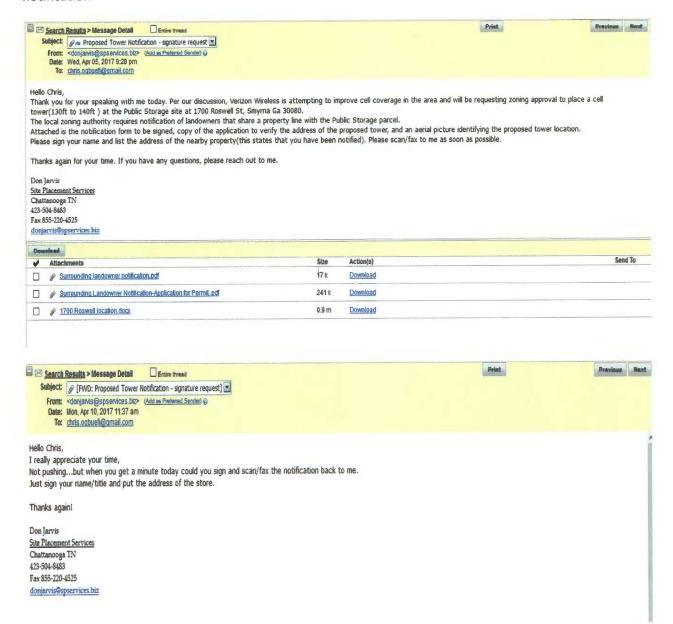
Cayce Foods Inc

Phone: (770) 432-6967

Web: www.caycefoods.com

Name: Chris Ogbuefi
Job Title: President

The property owner was notified per a discussion by phone on April 5th 2017. Chris agreed to review the notification documents and gave no pushback as to signing. A follow-up email was sent the same day of April 5th,2017. This email contained the notification document to be signed, The application for permit, and an aerial picture as to where the proposed cell tower would be located. I called and left message for Chris on April 6th. I received no response. I gave another notification on April 10th, that included the same notification documents, and requested signature. After several calls to follow up with no reply, I gave another notification via UPS on April 20th. The landowner notification for signature, the application for permit, and the aerial map detailing the proposed cell tower, were all included. I also went by the Grocery Store in person on approximately May 19th and left my business card. The landowner has been notified by phone, email, and UPS containing the physical documents. I have had no push back as to the proposed tower and no response as to signing the notification. Below are the emails and proof of UPS notification.



Shipment Receipt: Page #1 of 1

THIS IS NOT A SHIPPING LABEL. PLEASE SAVE FOR YOUR RECORDS.

SHIP DATE: NED 19 APR 2017

EXPECTED DELIVERY DATE:
THUR 20 APR 2017 EOD
SHIP FROM:
DON JARVIS
932 FULLER GLENN CIRCLE
CHATTANOOGA TN 37421
(423) 504-8483

SHIP TO: CHRIS

1680 ROSHELL ST SE SMYRHA GA 30080-2259 BUSINESS

SHIPMENT INFORMATION:
UPS GROUND COMMERCIAL
0 LBS 2.2 OZ ACTUAL MT
1.00 LBS BILLABLE MT
15.00X12.00X0.75 IN
DECLARED VALUE = 100.00 USD

TRACKING HUMBER: 125RU2790318595639 SHIPMENT ID: MMGH3TGQDH1Q5

SHIP REF 1: - -SHIP REF 2: - -

DESCRIPTION OF GOODS:

SHIPMENT CHARGES: GROUND COMMERCIAL SERVICE OPTIONS CMS PROCESSING FEE 0.20

SHIPPED THROUGH: THE UPS STORE #1995 CHATTAHOOGA, TN 37421-3492 (423) 499-4448

TOTAL

\$9,28

COMPLETE ONLINE TRACKING: ENTER THIS ADDRESS IN YOUR WEB BROWSER TO TRACK: HTTP://THEUDOSTORE.COM (SELECT TRACKING. ENTER SHIPMENT ID *) SHIPMENT QUESTIONS? CONTACT SHIPPED THROUGH ABOUE.

INFRASTRUCTURE

WATER AND SEWER

A letter from Scott Stokes, Director of Public Works Department is required stating that water is available and the supply is adequate for this project.

A letter from Scott Stokes, Director of Public Works Department is required stating that sewer is available and the capacity is adequate for this project.

• If it is Cobb County Water, Cobb County must then furnish these letters.

Comments:	
NIA	
TRANSPORTATIO)N
Access to Property?	Access to be provided by existing access to self-storage facility at Roswell Street.
Improvements propos	sed by developer? N/A
Comments:	

ZONING DISCLOSURE REPORT

Has the applicant* made, within two years immediately preceding the filing of this application for a special land use permit, campaign contributions aggregating \$250 or more or made gifts having in the aggregate a value of \$250 or more to the Mayor or any member of the City Council or Planning and Zoning Board who will consider this application? No
If so, the applicant* and the attorney representing the applicant* must file a disclosure report with the Mayor and City Council of the City of Smyrna, within 10 days after this application is filed.
Please supply the following information, which will be considered as the required disclosure:
The name of the Mayor or member of the City Council or Planning and Zoning Board to whom the campaign contribution or gift was made: N/A
The dollar amount of each campaign contribution made by the applicant* to the Mayor or any member of the City Council or Planning and Zoning Board during the two years immediately preceding the filing of this application, and the date of each such contribution: N/A
An enumeration and description of each gift having a value of \$250 or more by the applicant* to the Mayor and any member of the City Council or Planning and Zoning Board during the two years immediately preceding the filing of this application: N/A
Does the Mayor or any member of the City Council or Planning and Zoning Board have a property interest (direct or indirect ownership including any percentage of ownership less than total) in the subject property? None known at this time.
If so, describe the natural and extent of such interest: N/A

ZONING DISCLOSURE REPORT (CONTINUED)

Does the Mayor or any member of the City Council or Planning and Zoning Board have a financial interest (direct ownership interests of the total assets or capital stock where such ownership interest is 10% or more) of a corporation, partnership, limited partnership, firm, enterprise, franchise, association, or trust, which has a property interest (direct or indirect ownership, including any percentage of ownership less than total) upon the subject property? None known at this time.

None known at this time.	Of Ownership 1000 than totally apon the subject property.
If so, describe the nature and extent on N/A	of such interest:
	f the City Council or Planning and Zoning Board have a r, son, or daughter who has any interest as described above?
If so, describe the relationship and the N/A	e nature and extent of such interest:
Planning and Zoning Board must im writing, to the Mayor and City Coun	'Yes", then the Mayor or the member of the City Council or mediately disclose the nature and extent of such interest, in acil of the City of Smyrna. A copy should be filed with this all be public record and available for public inspection any
We certify that the foregoing information 20_17_	Applicant's Signature)

Notes

* Applicant is defined as any individual or business entity (corporation, partnership, limited partnership, firm enterprise, franchise, association or trust) applying for rezoning action.

(Attorney's Signature, if applicable)

** Copy to be filed with the City of Smyrna Zoning Department and City Clerk along with a copy of the zoning application including a copy of the legal description of the property.

Exhibit B

20.83110

Smyrna

SPECIAL WARRANTY

STATE OF GEORGIA COUNTY OF

THIS INDENTURE, made the day of August, in the year One Thousand Nine Hundred Ninety-Three, between Concept Wardhouse I, Ltd., a Georgia limited partnership, as party of the first past, hereinafter called Grantor, and Storage Equities, Inc, a California corporation, 600 N. Brand Boulevard, Suite 300, Glendale, California 91203-5050, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs. include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of Ten and 00/100 (\$10.00) DOLLARS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee the property described as follows:

See Legal Description attached hereto as Exhibit A.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims by, through or under the party of the first part, but not otherwise.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered

in presence of:

CONCEPT WAREHOUSE I, LTD., a

(Seal)

(Seal)

Witness

Witness

Notary Public ___, 1993.

Bold Sesion Expires: February 1, 1995

Georgia limited partnership

Storage Partners I, L.P., a Georgia limited partnership, the general partner (Seal)

Storage-USA Realty, Inc., a (Seal)

Maryland corporation, its

Cobb County, Cample

By:

Cierk of Superior Court

Rand Estata Transfer Tax

HEEP-73584\5560\DEED 08/04/93-507pam

366 60. "Hengumin"

BEETSTY.A

ALL THAT TRACT OR FARCEL OF LAND lying and being in Land Lot 634 of the 17th District, 2nd Section of Cobb County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the point of intersection of the line common to Land Lots \$33 and \$34, said District, Section and County with the southeastern right-of-way line of Smyrna-Roswell Road (a 70-foot right-of-way); thence in a southwesterly direction, along said right-of-way line of Smyrna-Roswell Road, a distance of 568.00 feet to an iron pin placed marking the TRUE POINT OF BEGINNING; FROM THE TRUE POINT OF SEGINNING; A distance of \$34.40 feet to a 1/4" orimp top pipe found; thence Routh 54 degrees 16 minutes 25 seconds Bast a distance of 88.00 feet to an iron pin placed on the northern right-of-way line of Hawthorne Avenue, South 88 degrees 55 minutes 29 seconds West a distance of 339.40 feet to an iron pin placed; thence leaving said right-of-way line of Hawthorne Avenue and running Routh 04 degrees 28 minutes 00 seconds West a distance of 278.20 feet to an iron pin placed on said right-of-way line of Smyrna-Roswell Road; thonce Earth 52 degraes 08 minutes 18 seconds Rast, along said right-of-way line of Smyrna-Roswell Road, a distance of 275.60 feet to the iron pin placed marking the TRUE FOIRT OF SEGINMENTS.

THE ABOVE-DESCRISED PROPERTY is shown as 2.818 acres on and is described according to plat of survey prepared for Storage Equities, Inc. by Chester N. Smith, Jr., Georgia Registered Land Surveyor No. 1445, Metro Engineering and Surveying Co., Inc., dated July 13, 1993, which said plat of survey is incorporated hexein by this reference and made a part of this description.

EXHIBIT "B"

Permitted Encumbrances (Cobb County)

- All taxes subsequent to the year 1992, not yet due and payable.
- Permit for Anchors, Guy Poles and Wires from Herbert R. Harris, Jr., to Georgia Power Company, dated December 6, 1962, recorded in Deed Book 682, page 362, Cobb County, Georgia Records.
- Survey for Storage Equities, Inc. prepared by Metro Engineering and Surveying Co., Inc., bearing the seal and cartification of Chester M. Smith, Georgia Registered Land Surveyor No. 1445, dated July 13, 1993, discloses the following:
 - a. storm drainage facilities located in the northeastern portion of property and entering the northwestern portion of property;
 - b. building setback lines as follows: 30 feet along the vestern, southern (adjacent to Hawthorne Road) and northeastern boundaries of property; 50 feet along the northwestern boundary of property (adjacent to Smyrna-Roswell Road); and 20 feet along the eastern boundary of property.

ATMAIN DOE MINEL

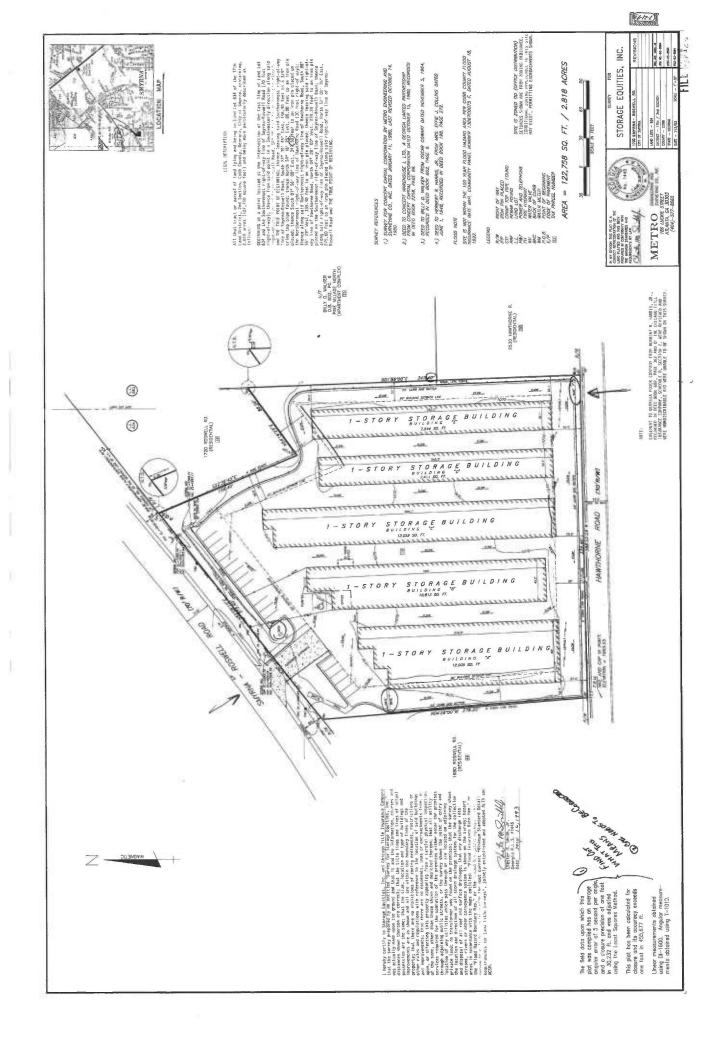


Exhibit C

PREPARED FOR:



10300 OLD ALABAMA ROAD CONNECTOR ALPHARETTA, GA 30022

SITE NAME:

COTTESFORD

PROJECT DESCRIPTION

GREENFIELD 130' MONOPOLE

TOTAL TOWER HEIGHT INCLUDING THE APPURTENANCE - 140' AGL





DRIVING DIRECTIONS FROM ATLANTA:

3.1 mi
8.8 mi
0.8 mi
0.7 mi
1.1 mi
0.6 mi
0.1 mi

PROJECT SUMMARY

OD

SITE ADDRESS:

1700 ROSWELL ST SMYRNA, GA 30080

LATITUDE: LONGITUDE

COUNTY:

33° 53' 26.41"

PARCEL ID:

COBB

ZONING CLASSIFICATION:

ZONING JURISDICTION: DISTURBED AREA:

COBB COUNTY

84° 30' 10.22"

17063400180

LAND OWNER:

381 SQ FT/0.008 ACRES CONCEPT WAREHOUSE 1 LTD C/O PUBLIC STORAGE

MANAGEMENT INC.

APPLICANT:

VERIZON WIRELESS 10300 OLD ALABAMA ROAD CONN

ALPHARETTA, GA 30022

ENGINEER:

TOWERSOURCE 1875 OLD ALABAMA ROAD, ROSWELL, GA 30076 678-990-2338

ELIZABETH B. USHER P.E. GSWCC LEVEL II: 0000068680

CONTACT:

BRANDON STEWART 678-990-2338

CONSULT CM

TELEPHONE COMPANY:

POWER COMPANY:

GA POWER 888-660-5890

	SHEET INDEX
NO.	DESCRIPTION
T-1	TITLE SHEET
4	SURVEY
A-1	AERIAL SITE PLAN
C-1	GENERAL NOTES
C-2	OVERALL SITE PLAN
C-3	DETAILED SITE PLAN
C-4	TOWER ELEVATION & ANTENNA MOUNT DETAILS
C-5	FIBER COLOR CODE
C-6	FOUNDATION DETAILS
C-7A	GRADING & EROSION CONTROL PLAN
C-7B	EROSION CONTROL DETAILS
C-8	GRADING & SEDIMENT CONTROL NOTES
C-9	FENCE DETAILS
E-1	ELECTRICAL NOTES
E-2	ONE-LINE DIAGRAM
E-3	ELECTRICAL SITE PLAN
Ξ-4	GROUNDING SITE PLAN
E-5	GROUNDING DETAILS
E-6	GROUNDING DETAILS
E-7	UTILITY FRAME DETAILS





1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:		
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION



RIZON WIRELESS SITE NAME

COTTESFORD

OWER OWNER / SITE NUMBER:

VERIZON

GREENFIELD

SHEET TITLE:

TITLE SHEET

DRAWING NO.

T-1

0

REVISION NO

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY JAMES E. MCGUIRE LLC, EFFECTIVE DATE OF JULY 20, 2016, BEING PLE NO. 1180/022, FOR THE SUBJECT PROPERTY. TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

1, PERMIT FOR ANCHORS, GLY POLES AND WIRES FROM HERBERT R. HABRIS, JR, TO GEORGIA POWER COMPANY, DATED DECEMBER 6, 1986, RECORDED IN DEED BOOK 682, PAGE 362, COBB COUNTY, GEORGIA RECORDS.

THIS ITEM MAY AFFECT THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE DESCRIPTION.)

2. UNINECORDED MASTER LASSE ADRELMENT BETWEEN PUBLIC STORAGE, INC., A CALFORNA CORPORATION AND CELLOP PATRICESHEP, D. CELLWARGE GENERAL PARTICESHEP, D. CALF. VERZICON WRIELESS, DATED AUGUST 3. 2004. TO BE SUPPLEMENTED BY AGREEMENT BETWEEN STORAGE GOUTTES, INC., A CALFORNA CORPORATION, AND COLLOD PARTICESHEP, D. CALFORNA CORPORATION, AND COLLOD PARTICESHEP, D. CALFORNA CORPORATION AND COLLOD PARTICESHEP, D. CALFORNA CORPORATION OF SUBJECT PROPERTY IS SET FORTH IN THE FURNISHED COPY OF THE MASTER LASSE AGREEMENT, HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LASSE AGREEMENT, HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LASSE AGREEMENT, COMMEYS IN BETTILE TO AN INTEREST IN SUBJECT PROPERTY.

SUBJECT PROPERTY

OWNER: CONCEPT WAREHOUSE 1 LTD C/O PUBLIC STORAGE MANAGMENT INC

SITE ADDRESS: 1700 ROSWELL ST. SMYRNA, GA 30080

PARCEL ID: 17063400180

AREA: 2.8 ACRES (PER TAX ASSESSOR) ZONED: OD - OFFICE DISTRIBUTION

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 7531 PAGE 52

SITE INFORMATION

PROPOSED LEASE AREA #1 = 187 SQUARE FEET (0.004 ACRES)

ELEVATION AT CENTER OF PROPOSED TOWER = 1070.2' A.M.S.L.

PROPOSED 20' UTILITY/

TEMPORARY CONSTRUCTION EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT UTILITY/TEMPORARY CONSTRUCTION EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A Y-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAVING AN TO-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTH-EAST CORNER OF THE PROPERTY OWNED BY CATCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 3594, THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, NORTH-36*320'B T-83.7, 64.0 PEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 36*380'S EAST, 91.78 FEET TO A POINT; THENCE, SOUTH 00*34'11' WEST, 23.60 FEET TO A POINT; THENCE, SOUTH 00*33'13' WEST, 11.42 FEET TO THE ENDING AT A POINT ON HAWITHORNE AVENUE (HAVING A 40-FOOT RIGHT-OF-WAY).

PROPOSED 20' INGRESS-EGRESS EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT INGRESS-EGRESS EASEMENT LYING AND BEING IN LAND LOT 634, 1.7TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 14-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAWING AN 70-FOOT RIGHT-OF-WAY), SAID REBAR MARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAVE PROPERTIES, AS RECORDED IN DEED BOOK 14-889 PAGE 3594. THENCE RUNNING AND KING SAID RIGHT-OF-WAY LINE. NORTH 54*75/20° EAST, 64.40 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENDE LEAVING SAID RIGHT-OF-WAY LINE. NORTH 54*75/20° EAST, 64.0FEET TO A POINT, THENDE. SOUTH 60*26*47.* EAST, 37.02 FEET TO THE ENDING AT A POINT.

PROPOSED LEASE AREA #1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE.
PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 14-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAWING AN TO-FOOT RIGHT-OF-WAY), SUO REBAR MARKING THE NOTHEAST CORRECT OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEBOX 14699 PAGE 3994. THEREOE (LAWING ALONG SAN INGHT-OF-WAY) LINE, NORTH 3-95-20° EAST, 91.24 PEET TO A POWER SAN INGHE AND RAINING, SOUTH 30° 240° EAST, 91.25 FEET TO A POWER, THE AND RAINING, SOUTH 30° 240° EAST, 91.25 FEET TO A POWER, THE AND RAINING, SOUTH 30° 240° EAST, 91.20 FEET TO A POWER, THE AND RAINING, ROSWING SOUTH 30° 240° EAST, 91.20 FEET TO A POWER, THE AND RAINING, ROSWING SOUTH 30° 240° EAST, 91.20 FEET TO A POWER, THE AND RAINING, ROSWING SOUTH 30° 240° EAST, 91.20 FEET TO A POWER, THE AND RAINING AND RESEARCH AND RES

SAID TRACT CONTAINS 0.004 ACRES (187 SQUARE FEET), MORE OR LESS.

PROPOSED LEASE AREA #2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/4-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAWING AN TOPOOT RIGHT-OF-WAY), SHOP REBAR MARKING THE NORTH-LAST CORRER OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK 14889 PAGE 359-4; THENCE, CRIMING ALONG SUR RIGHT-OF-WAY LINE, NORTH 3-97-20° ESTS, 6.4 OFEET TO A POINT, THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, SOUTH 367-380 FAST, 91.78 FEET TO A POINT; THENCE, SOUTH 007-24*11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 007-24*11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 007-24*11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 007-24*11" WEST, 233.60 FEET TO A POINT; THENCE, SOUTH 007-24*11" WEST, 234.60 FEET TO A POINT; THENCE, SOUTH 007-24*1" WEST, 20.00 FEET TO A POINT OF STATE OF THE ST

SAID TRACT CONTAINS 0.004 ACRES (189 SQUARE FEET), MORE OR LESS.

DETAIL VIEW C/L PROPOSED 20' INGRESS-EGRESS EASEMENT (NORTS TO BE ACQUIRED) BUILDING "B" PROPOSED LEASE AREA #2 (RIGHTS TO BE ACQUIRED) 10.50' -PROPOSED LEASE AREA #1 PROPOSED N89°26'47'W 17.00 POB: LEASE 1 \$89*26'47'E 37.02' POR IM C/L PROPOSED 20' UTILITY / TEMPORARY CONSTRUCTION EASEMENT (RIGHTS TO BE ACQUIRED) CHARTE SULLECT PROPERTY LINE EL DIMA UNK PENCE CONCRETE HAWTHORNE AVE (40' R/W) GRAPHIC SCALE IN FEET



VICINITY MAP NOT TO SCALE

GENERAL NOTES

THIS EASEMENT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF VERZON WRIELESS AND EXCUSIVELY FOR THE TRANSFERRAL OF PROPAGE AND THE REPAIRS FROM THE PROPAGE AND THE PROPAGE AND THE PROPAGE AND THE PROPAGE AND EXCHANGE OF THE PREPAIR PRACE. NOR ANY PORTION OF THE PREPAIR PRACE AND AND THE PROPAGE A

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVD 88 DATUM AND HAVE A VERTICAL ACCURACY OF \pm 1% CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) GEORGIA WEST ZONE.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 13067C0119H DATED MARCH 4, 2013.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY. ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURFY WROTRAINON. THE SURFYCYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, ETTHER IN-SERVICE OR ABANDONED. THE SURFYCYOR FURTHER FOOS NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGA AS SET FORTH IN CHAPTER 100-70 FT HE RULLS OF THE GEORGA BOARD OF REGISTRATION FOR PROFESSIONAL ENRIFERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT OLGAL 13-60.

CERTIFICATE OF AUTHORIZATION: LSF000843

SITE NAME: COTTESFORD

LEGEND	
POB POINT OF BEGINNING	S SANTARY SEWER MANHO
POC POINT OF COMMENCEMENT	STORM DRAIN MANHOLE
PS BON PIN SET (1/2" REBAR WITH CAP)	
RB REBAR	Q LITILITY POLE
CMF CONCRETE MONUMENT FOUND	THE LIGHT POLE
UP UTILITY POLE LP LIGHT POLE	. GUY WIFE
FP FLAG POLE	DHO WATER VALVE
SSMH SANITARY SEMER MANHOLE	Des ABRIEN ANTAC
SENH STORM DRAIN MANHOLE PRV BAVERT	WATER METER
PH FIRE HYDRANT	A GAS VALVE
EP EDGE OF PAVEMENT TO TOP OF CURB	G GAS METER
BC BACK OF CURB	679 cmr - cmmean
TW TOP OF WALL	FIRE HYDRANT
BW BOTTOM OF WALL	SANSTARY SEWER CLEAN
OU OVERHEAD UTILITY	GREASE TRAP HANHOLE
UE UNDERGROUND UTILITY	GU CHEASE INP MANHULE
CMP CORRUGATED METAL PIPE	IF APPROX. WATER LIN
RCP REINFORCED CONCRETE PIPE PVC POLYVENYL CHLORIDE PIPE	SEWER LINE
GW GLY WIRE ANCHOR	> OCMEN TIME
TR TRANSFORMER	OVERHEAD UTILITIES
JB JUNCTION BOX	APPROX. ELECTRIC L
SWC8 SINGLE WING CATCH BASIN	
DWC8 DOUBLE WING CATCH BASIN	APPROX. GAS LINE
DE DROPINLET	APPROX. TELEPHON
CF CURBINLET	
CLF CHAIN LINK FENCE	FENCE LINE
WW WATER WEITER	
CO SEWER CLEAN-OUT	
GV GAS VALVE	
N/F NOW OR FORMERLY	
RAW RIGHT-OF-WAY	



VERIZON
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022



F TO POINT
SURVEYORS
INSylvania Avenue
Igh, GA 30253
GS, 440 (10 678.565.4 POINT TO LAND SL 1010 Pennsyh McDonough, G (p) 678:565.4 (w) pointtopoint



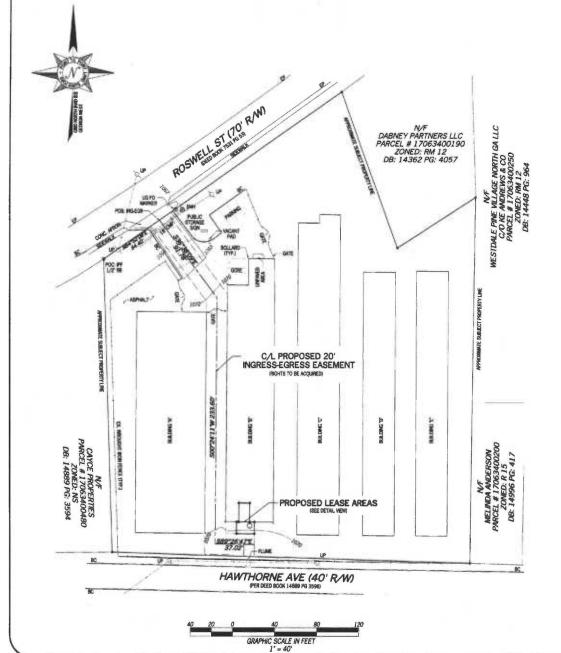
LAND LOT: 634 DISTRICT: 17TH SECTION: 2ND CITY: SMYRNA COUNTY: COBB STATE: GEORGIA DATE: DECEMBER 07, 201

DRAWN BY: EAL / NRW CHKD BY: KLS APPRVD BY: C. INER

SHEET NUMBER:

JOS #: G150713 FILE #: 17-D-104

OF 1 SHEETS



TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY JAMES E. MCGUIRE LLC, EFFECTIVE DATE OF JULY 20, 2016, BEINS FILE NO. 1180-022, FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

2. UNINCORPED MASTER LEASE AGREEMENT BETWEEN PUBLIC STORAGE, INC., A CALIFORNIA CORPOPATION AND CELLOO PATRIESISHIP, D. CALIFORNIA CORPOPATION AND CELLOO PATRIESISHIP, D. CALIFORNIA CORPORATION AND CELLOO PATRIESISHIP, D. CALIFORNIA CORPORATION, AND CELLOO PATRIESISHIP, D. CALIFORNIA CORPORATION, AND CELLOO PATRIESISHIP, A DELAMPRE GENERAL PATRIESISHIP, D. CALIFORNIA CORPORATION, AND CELLOO PATRIESISHIP, A DELAMPRE GENERAL PATRIESISHIP, D. CALIFORNIA CORPORATION OF SUBJECT PROPERTY IS SET FORTH IN THE FURNISHED COPY OF THE MASTER LEASE AGREEMENT. HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LEASE AGREEMENT. HOWEVER, EXAMINING COUNSEL HAS BEEN INFORMED THAT SAID MASTER LEASE AGREEMENT TOOMYCES THE TITLE TO AN INTEREST IN SUBJECT PROPERTY.

(ONLY A PARTIAL DOCUMENT WAS PROVIDED; NO PLOTTABLE DESCRIPTION WAS INCLUDED.)

SUBJECT PROPERTY

CWNER: CONCEPT WAREHOUSE 1 LTD C/O PUBLIC STORAGE MANAGMENT INC (PER TAX ASSESSOR)

SITE ADDRESS: 1700 ROSWELL ST, SMYRNA, GA 30080

PARCEL ID: 17063400180

AREA: 2.8 ACRES (PER TAX ASSESSOR) ZONED: OD - DEFICE DISTRIBUTION

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 7531 PAGE 52

SITE INFORMATION

C/L PROPOSED 20'
INGRESS-EGRESS EASEMENT

HAWTHORNE AVE (40' R/W)

GRAPHIC SCALE IN FEE 1" = 40"

PROPOSED LEASE AREAS

PROPOSED LEASE AREA #1 = 187 SQUARE FEET (0.004 ACRES)

ROSWELL ST. 170' RAW

889*26'47E

-ASPHALT-

ELEVATION AT CENTER OF PROPOSED TOWER = 1070.2' A.M.S.L.

N/F DABNEY PARTNERS LLC PARCEL # 17063400190 ZONED: RM 12 DB: 14362 PG: 4057

PROPOSED 20' UTILITY/

TEMPORARY CONSTRUCTION EASEMENT

TOGETHER WITH A PROPOSED 20-F00T UTILITY/TEMPORARY CONSTRUCTION EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, CO38 COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTRELINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 19-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-HAY LINE OF ROSMELL STREET HAVING AN TO-FOOT ROSMELWAY, SAID REBAR MARKING THE NOTHEAST COMMER OF THE PROVERTH OWNED BY CANCE PROPERTIES, AS RECORDED IN DEED SOON I 14889 FACE SSAIP, HENCE REVANNES ALONG RUSHING ALONG ROSMED TO A POINT, THE RIGHT SAID RESIDENCE AND RIGHT-OF-HAY LINE AND RUNNING, SOUTH 36"STOP FAST, 9, 7.8 FEET OF A POINT, THE CONTINUE WEST, 253.00 FEET TO A FORT AND THE RIGHT SAID RESIDENCE WEST, 253.00 FEET TO A FORT AND THE RESIDENCE AND RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 253.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A FORT AND THE CONTINUE AS RESIDENCE FAST, 250.00 FEET TO A

PROPOSED 20' INGRESS-EGRESS EASEMENT

TOGETHER WITH A PROPOSED 20-FOOT INGRESS-EGRESS EASEMENT LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 14-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET HAWING AN 70-FOOT RIGHT-OF-WAY), SUID RESAR WARKING THE NORTHEAST CORNER OF THE PROPERTY OWNED BY CAVED PROFEREDS, A RECORDED BY DEED BOOK 14889 PICE 3594. THEORE RUMING ALONG SUID RIGHT OF-WAY LINE, NORTH 54*52'08' EAST, 64 AO FEET TO A POINT AND THE TRUE POINT OF BEGINNING, THENCE LEAVING SAD RIGHT-OF-WAY LINE, NORTH 54*52'08' EAST, 63.20TH 35*38'09' EAST, 51.78 FEET TO A POINT; THENCE, SOUTH 35*28'47' EAST, 37.02 FEET TO THE CHORNING AT A POINT.

PROPOSED LEASE AREA #1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COSB COUNTY, GEORGIA AND BEING MORE. PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 16-INCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ROSWELL STREET (HAWMS AN 70-FOOT RIGHT-OF-WAY), SAID REBAR WARRING THE NORTHEAST CORNERS OF THE PROPERTY OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED HOW I 14839 PER 3594, THEREOE RINNING ALONG ASID ROST-OF-WAY LINE, ROWTH 049-200F BAST, 64.40 FEET TO A FORWAY INSTRUMENT FRANCE, EXPANSE AND ASSOCIATED TO A FORWAY LINE, AND THE ASSOCIATED ASSOCIATED AS TO A FORWAY LINE, AND THE ASSOCIATED ASSOCIATED AS TO A FORWAY LINE, AND THE ASSOCIATED ASSOCIATED AS TO A FORWAY LINE, AND THE ASSOCIATED ASSOCIATED AS TO A FORWAY LINE, AND THE ASSOCIATED ASSOCIATED AS TO A FORWAY THE ASSOCIATED AS TO A FORWAY THE ASSOCIATED ASSOCIATED AS TO A FORWAY THE ASSOCIATED

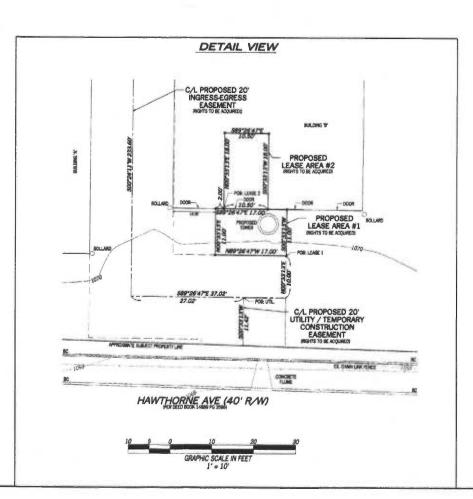
SAID TRACT CONTAINS 0.004 ACRES (187 SQUARE FEET), MORE OR LESS.

PROPOSED LEASE AREA #2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 634, 17TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A V-ANCH REBAR FOUND ON THE SOUTHEASTERLY RIGHT-OF-MAY LINE OF ROSWELL STREET (HAWING AN TOPOOT RIGHT-OWNED BY CAYCE PROPERTIES, AS RECORDED IN DEED BOOK LASSIP PAGE 3994, THENCE KINNING ALONG SUR RIGHT-OWNED, WILLIAM SHOWNED SHOWNED

SAID TRACT CONTAINS 0.004 ACRES (189 SQUARE FEET), MORE OR LESS.





VICINITY MAP

GENERAL NOTES

THIS EASEMENT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EASEMENT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF PRIZON PRIECES AND DECLUSIVELY FOR THE TRANSFERRAL OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXPENT OR EVIDENCE TO THE FESSIVELY TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OF THE PRIZON PARCEL NOR ANY PORTION THE REPORT BOUNDARY MICHAEL PRICON TAX MAYS AND DEED OF SCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THE FIELD DATA UPON WHICH THIS EASEMENT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000 - FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS EASEMENT SURVEY ARE ADJUSTED TO NAVO 88 DATUM AND HAVE A VERTICAL ACCURACY OF $\approx 1^\circ$. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EASEMENT SURVEY ARE BASED ON GRID NORTH (NAD 83) GEORGIA WEST ZONE.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 13067C0119H DATED MARCH 4, 2013.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES A SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER INSERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED A THOUGHT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION THAT SURVEYOR HAS NOT PHYSICALLY LOCATED AND UNDERGROUND UTILITIES.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT OF J.C.O.A. J. 18-6-7.

SITE NAME: COTTESFORD

LEGEND	
FOR POINT OF BEGINNING POINT OF STATE OF THE	SANTARY SCHER MARHOLE STORM DIAMA MARHOLE LIGHT POLE LIGHT POLE MITCH VALVE WHITE HOTHE MATCH VALVE MATCH WALVE GLANGE MATCH VALVE GLANGE MATCH VALVE GLANGE MATCH MATCH VALVE MATCH WALVE GLANGE MATCH MATCH VALVE MATCH WALVE MATCH WALV





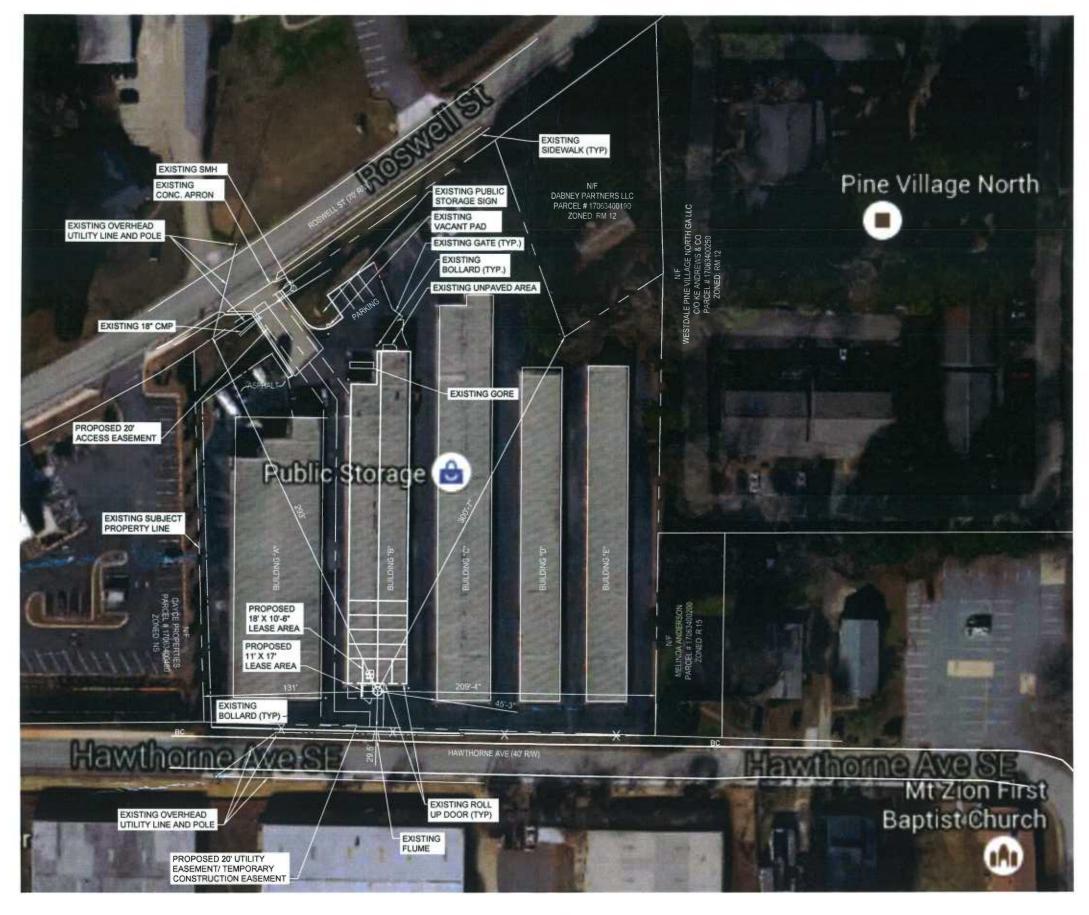


POINT TO POINT LAND SURVEYORS 1010 Pennsylvania Avenue McDonough, 6A 30253 (p) 678.565.440 (f) 678.565.44 (v) pointtopointsurvex.com



LAND LOT: 634 DISTRICT: 17TH SECTION: 2ND CITY: SMYRNA COUNTY: COBB STATE: GEORGIA DATE: DECEMBER 07, 201 DRAWN BY: EAL / NRW CHKD BY: KLS APPRVD BY: C. INER JOB #: G150713 FILE #: 17-D-104 SHEET NUMBER:

OF 1 SHEETS





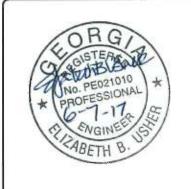


1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-
DRAWN BY:	JBE
CHECKED BY:	EBU

		REVISIONS
NO	DATE	DESCRIPTION
А	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
	100	



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBE

VERIZON

DESIGN TYPE:

GREENFIELD

CUCET TITLE

AERIAL SITE PLAN

DRAWING NO

REVISION NO.

A-1

AERIAL SITE PLAN
SCALE: 1" =70'-0"



GRAPHIC SCALES

70 0 70

SCALE: 1" =70'-0"

GENERAL NOTES: ALL CONSTRUCTION TO COMPLY WITH THE FOLLOWING CODES PLUS LATEST STATE AMENDMENTS: - International Building Code - 2012 Edition with 2014 & 2015 Georgia State Amendments - NFPA National Electrical Code - 2014 Edition - International Mechanical Code - 2012 Edition with 2014 & 2015 Georgia State Amendments - International Fuel Gas Code - 2012 Edition with 2014 & 2015 Georgia State Amendments - International Plumbing Code - 2012 Edition with 2014 & 2015 Georgia State Amendments - International Residential Code for One & Two Family Dwellings - 2012 Edition with 2014 & 2015 Georgia State Amendments International Existing Building Code - 2012 Edition with 2015 Georgia State Amendments - Masonry Code - ASCE 5-10 - Structural Concrete Code - ACI 318-11 - International Energy Conservation Code - 2009 Edition with 2011 & 2012 Georgia State Amendments Structural standards for steel antenna towers and antenna supporting structures - (TIA/EIA-222-G) - Georgia Erosion and Sedimentation Act of 1975, (Amended in 2003) CONTRACTOR IS TO COMPLY WITH THE REQUEST FOR QUOTATION (RFQ) AND CONSTRUCTION SPECIFICATIONS (LATEST REVISION) & BUILDING MANUFACTURER'S DRAWINGS, ALL PREVIOUSLY 5.1. PROVIDED BY VERIZON WIRELESS. DIMENSIONS TO ALL EXISTING SITE FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR & ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPES, OR ANY OTHER SUBSURFACE STRUCTURES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING SERVICE 48 HRS PRIOR TO DIGGING, DRILLING, OR BLASTING. VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY 6.2. FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL DRAWINGS & SPECIFICATIONS AND TO COORDINATE HIS WORK WITH THE WORK OF ALL OTHERS TO ENSURE THAT WORK PROGRESSION IS NOT 1. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER AS TO AVOID ANY INTERRUPTIONS WITH THE PROPERTY OWNER'S OPERATIONS. CONTRACTOR SHALL KEEP THE PROJECT SITE FREE FROM ACCUMULATION OF WASTE MATERIALS & RUBBISH AT ALL TIMES DURING THE CONSTRUCTION PERIOD, & SHALL REMOVE ALL WASTE MATERIALS & RUBBISH FROM THE PROJECT SITE AT THE COMPLETION OF WORK, EXCEPT THOSE SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS TO BE LEFT FOR THE OWNER'S MAINTENANCE. THE CONTRACTOR SHALL RESTORE ALL PROPERTY TO IT'S PRE-CONSTRUCTION CONDITION TO THE OWNER'S SATISFACTION. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY DISTURBED. DAMAGED, CO PEMOVAL OF MONUMENTATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR 11. DAMAGE TO EXISTING STRUCTURES & UTILITIES SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. MAINTAIN FLOW FOR ALL UTILITIES. 12. ALL UTILITY CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY COMPANY PRIOR TO EACH CONNECTION 13. UNLESS OTHERWISE INDICATED, VERIZON SHALL OBTAIN & PROVIDE CONSTRUCTION PERMITS. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, CITY, STATE AND/OR COUNTY 4.2. CONSTRUCTION LICENSES. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL APPLY FOR & PROVIDE A CERTIFICATE OF OCCUPANCY. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE FOR 15. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS. 16. CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO AN APPROVED 52 LANDFILL 5.3. 17. SECURITY TO THE SITE SHALL BE MAINTAINED AT ALL TIMES CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF THE SHELTER DURING AND AFTER CONSTRUCTION. THE EQUIPMENT SHELTER SHALL NOT BE USED FOR STORAGE OF TOOLS CONSTRUCTION MATERIALS OR EQUIPMENT. CONTRACTOR SHALL ENSURE THE SHELTER IS CLEANED AT 6.1. CONCLUSION OF CONSTRUCTION AND THE FLOOR CLEANED, WAXED, AND BUFFED TO SHINE 19. FOR GREENFIELD/NEW TOWERS SITES, CONTRACTOR IS RESPONSIBLE FOR ENSURING THE TOWER LIGHTS ARE MONITORED MORNING AND NIGHT EACH 24 HRS FROM THE TIME THE TOWER IS TOPPED OUT UNTIL SITE HAS ALARMS CONNECTED TO THE OPERATIONS SWITCH OR NO. CONTRACTOR TO NOTIFY PROJECT MANAGER AT THE TIME THE TOWER IS TOPPED OUT TO FOWARD NOTIFICATION TO VERIZON REGULATORY AND FCC/FAA. LEGEND ____X---- FENCE CIRCUIT BREAKER - 550 - CONTOUR LINE (x) CODED NOTE NUMBER CHEMICAL GROUND ROD 8 LEASE AREA GROUND ROD \boxtimes GROUND ROD WITH INSPECTION SLEEVE - EASEMENT T CADWELD TYPE CONNECTION \triangle METER COMPRESSION TYPE CONNECTION

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- 2. ALL INTERIOR STRUCTURAL STEEL SHALL BE FINISHED WITH ONE COAT FABRICATOR'S NON-LEAD, RED OXIDE PRIMER. PRIMING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT 2. POSSIBLE. ALL DINGS, SCRAPES, MARS, & WELDS IN THE PRIMED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK
- ALL EXTERIOR STRUCTURAL STEEL SHALL BE GALVANIZED IN ACCORDANCE WITH THE SPECIFICATION ASTM A123 UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, & WELDS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- HOLES SHALL NOT BE PLACED THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON THE DRAWINGS

5. CONNECTIONS

- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN 6. THE AISC "MANUAL OF STEEL CONSTRUCTION", 13th EDITION, AT THE COMPLETION OF WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4") AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
- CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER 6 STEEL SHAPE
- W SHAPES ASTM A992, GR 50
- PLATES, ANGLES, CHANNELS ASTM A36
- PIPES A53 GR B

DESIGN GRAVITY LOADS: ROOF LIVE LOAD = 20 PSF

DESIGN WIND LOADS: RISK CATEGORY I BASIC WIND SPEED = 140 MPH **EXPOSURE C** Kzt = 1.0

ANTENNA NOTES:

- AFTER ANTENNA INSTALLATION, LABEL EACH COAXIAL CABLE LINE WITH STRIPS OF COLORED, UV RESISTANT TAPE AT BOTH ENDS OF EVERY LINE. IDENTIFICATION TAPE AS SHOWN ON TOWER
- TEST ALL COMPONENTS UPON COMPLETION OF INSTALLATION TO ENSURE THAT ALL ITEMS HAVE BEEN 17. FOR COLD WEATHER & HOT WEATHER PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND PROPERLY INSTALLED AND ARE OPERATIONAL AS INTENDED

3. TEST CRITERIA

- ALL CABLES SHALL BE TESTED BETWEEN 700-1900 MHz.
- ALL ANTENNAS MUST MEET A RETURN LOSS OF 16dB OR BETTER
- ALL INSERTION LOSS SHALL MEET OR BE LESS THAN THAT SPECIFIED ON THE EBTS WORKSHEET

4. EQUIPMENT REQUIRED - MINIMUM TEST EQUIPMENT SHALL INCLUDE:

- SWEPT-FREQUENCY SCALAR NETWORK ANALYZER SYSTEM.
- SIGNAL SEPARATION DEVICE WITH A DIRECTIVITY OF AT LEAST 40dB BETTER THAN THE HIGHEST RETURN LOSS IT IS REQUIRED TO MEASURE
- PRINTER OR PLOTTER CABLE CAPABLE OF PRODUCING 8.5"x11" COPIES (DIGITAL PRINTERS UNACCEPTABLE) FOR RECORDING PERMANENT RECORD OF MEASURED RETURN LOSS & INSERTION LOSS AND INSERTION CHARACTERISTICS. A TIME DOMAIN REFLECTOMETER (TDR) FOR FAULT LOCATION

TESTS REQUIRED:

- CABLE RETURN LOSS (INCLUDES TOP & BOTTOM JUMPERS).
- LOAD TEST; SHOULD BE -40dB OR BETTER.
- CABLE INSERTION LOSS MUST MEET OR BE LESS THAN THE MANUFACTURER'S PUBLISHED SPECIFICATIONS
- SYSTEM RETURN LOSS IF SYSTEM SWEEPS BETTER THAN LOAD, THERE IS A PROBLEM IN THE

TEST DOCUMENTATION

- THE FOLLOWING DATA MUST BE INCLUDED FOR EACH ANTENNA TESTED:
- 6.1.1. INSERTION LOSS DATA.
- 6.1.2. RETURN LOSS INTO 50ohm LOAD, SWEEP MEASUREMENTS 6.1.3. RETURN LOSS INTO ANTENNA SWEEP MEASUREMENTS.
- DOCUMENTATION FORMAT:
- 6.2.1. COPIES OF ALL TEST DATA MUST BE PLACED IN BINDERS.
- 6.2.2. PROVIDE TWO (2) COPIES OF ALL TEST DATA, ONE COPY TO REMAIN AT SITE & ONE COPY FOR THE VERIZON PROJECT MANAGER.
- 6.2.3. ALL TESTS MUST BE LOGGED AND DATED.
- 6.2.4. SWEEP MEASUREMENTS MUST BE CHART RECORDED & DATED.

THE ADJACENT TABLE IS THE MINIMUM THAT OPERATIONS IS REQUIRED TO PROVIDE DURING A COMPLETE SYSTEM RETURN LOSS TEST (I.E. WITH IN-LINE DUPLEXERS, DIPLEXERS, SURGE ARRESTORS, ETC.) THE VALUES WITHIN THIS TABLE ARE CONSIDERED PASS VALUES FOR A NEW OR EXISTING SYSTEM, GENERAL CONTRACTOR- BASED ON THESE TABLES, GC IS REQUIRED TO PROVIDE A SYSTEM SWEEP FROM THE CONNECTOR AT THE HATCH PLATE WITH A READING OF -20dB OR BETTER, TO ALLOW OPERATIONS TO GET THEIR REQUIRED READINGS

FOR DTF TESTING WITH LOAD ERMINATION ON NEW OR EXISTING COAX/CONNECTORS PASS CRITERIA FOR MAIN FEED LINE (MFL) OR ANY JUMPER -40 dB OR BETTER PASS CRITERIA FOR DIN AND MEI CONNECTORS -30 dB OR BETTER PASS CRITERIA FOR N CONNECTORS -27.5 dB OR BETTER

CONCRETE NOTES:

- DESIGN & CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE

CONCRETE MATERIALS: PORTLAND CEMENT REINFORCEMENT

WATER

ASTM C 150, TYPE I **ASTM A 185** NORMAL WEIGHT AGGREGATE ATSM C 33 POTABLE

ADMIXTURES NON-CHLORIDE

- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED, UNLESS NOTED OTHERWISE. WWF SHALL CONFORM TO ASTM A185 UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND HOOKS SHALL BE ASTM STANDARD UNLESS NOTED OTHERWISE.

MINIMUM COVER FOR REINFORCING STEEL:

CONCRETE CAST AGAINST EARTH

#6 & LARGER - 2 IN, #5 & SMALLER - 1 1/2 IN EXPOSED CONCRETE NON-EXPOSED SLAB & WALL

NON-EXPOSED BEAMS & COLUMNS NON-CHLORIDE

- 8. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301, SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. NO REINFORCING SHALL BE CUT WITHOUT ENGINEER'S APPROVAL
- 10. CURING COMPOUNDS SHALL CONFORM TO ASTM C 309.
- 11. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- 12. DO NOT WELD OR TACK WELD REINFORCING STEEL
- 13. ALL PENETRATIONS SHALL BE IN PLACE PRIOR TO CONCRETE PLACEMENT.
- 14. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- 15. CONCRETE SHALL NOT BE PLACED IN WATER, ICE, OR ON FROZEN GROUND
- 16. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD
- RECOMMENDATIONS.

GENERATOR DIESEL & LPG TANK NOTES:

- INSTALLATION OF ALL GENERATORS AND DIESEL/LPG TANK INSIDE OR OUTSIDE MUST MEET ALL APPLICABLE NFPA CURRENT CODES.
- 2. ALL FUEL PIPING CONNECTION INSTALLED AT THE SITE MUST BE PRESSURE TESTED PER LOCAL CODE REQUIREMENTS BEFORE STARTING OF GENERATOR
- 3. IN FLOOD ZONES LPG TANK FOUNDATION MUST BE INCREASED FROM A DEPTH OF 4" TO 20" TO PREVENT TANK FROM FLOATING AWAY IN A FLOOD.

COAX PASS CRITERIA @ 1900 MHZ System RL-SYSTEM RL-SHORT RL-LOAD Line 1-1/4" 1-1/4" 1-1/4" 1-5/8 7/8" 1-5/8" 7/8" 1-5/8" 7/8" 100" -17.1 -17.4 -17 -4.9 -3.5 -22 -22 -22 -6.7 -4.5 150' -17.4 -17.3 -5.2 -22 -22 -22 -17.7 200' -18 -17.5 -8.4 -6.5 5.5 -23 -23 -23 250" -18.2 -17.9-17.8-10.2 -7.8 -6.5 -23 -23 -23 -18.3 -11.9 -7.5 -24 300 -18.1 -17.9 -24 -24 -18.2 -8.6 350' -18.4 -18.1 -13.7 -10.3 -24 -24 400' -18.5 -18.3 -18.2 -15.4 -11.6 -9.6 -25 -25 -25

System	RL-SYSTEM				RL-SHORT			RL-LOAD		
Line Length (ft)	7/8"	1-1/4"	1-5/8"	7/8"	1-1/4"	1-5/8"	7/8"	1-1/4"	1-5/8°	
100'	-17	-16.8	-16.7	-3.2	-2.6	-2.3	-22	-22	-22	
150'	-17.3	-17	-16.9	-4.3	-3.4	-2.9	-22	-22	-22	
200'	-17.6	-17.3	-17.1	-5.4	-4.1	-3.6	-23	-23	-23	
250'	-17.8	-17.5	-17.3	-6.5	-4.9	-4.2	-23	-23	-23	
300'	-18	-17.6	-17.5	-7.6	-5.7	-4.9	-24	-24	-24	
350'	-18.1	-17.8	-17.6	-8.8	-6.5	-5.5	-24	-24	-24	
400'	-18.2	-17.9	-17.7	-9.9	-7.3	-6.2	-25	-25	-25	





ROSWELL, GA 30076

TEL 678-990-2338

WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE

OTHER THAN THAT WHICH RELATES

TO THE CLIENT IS STRICTLY PROHIBITED

A&E PROJECT #:	-	
DRAWN BY:	JBE	
CHECKED BY:	EBU	

-		
		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
_		



VERIZON WIRELESS SITE NAME

COTTESFORD

VERIZON

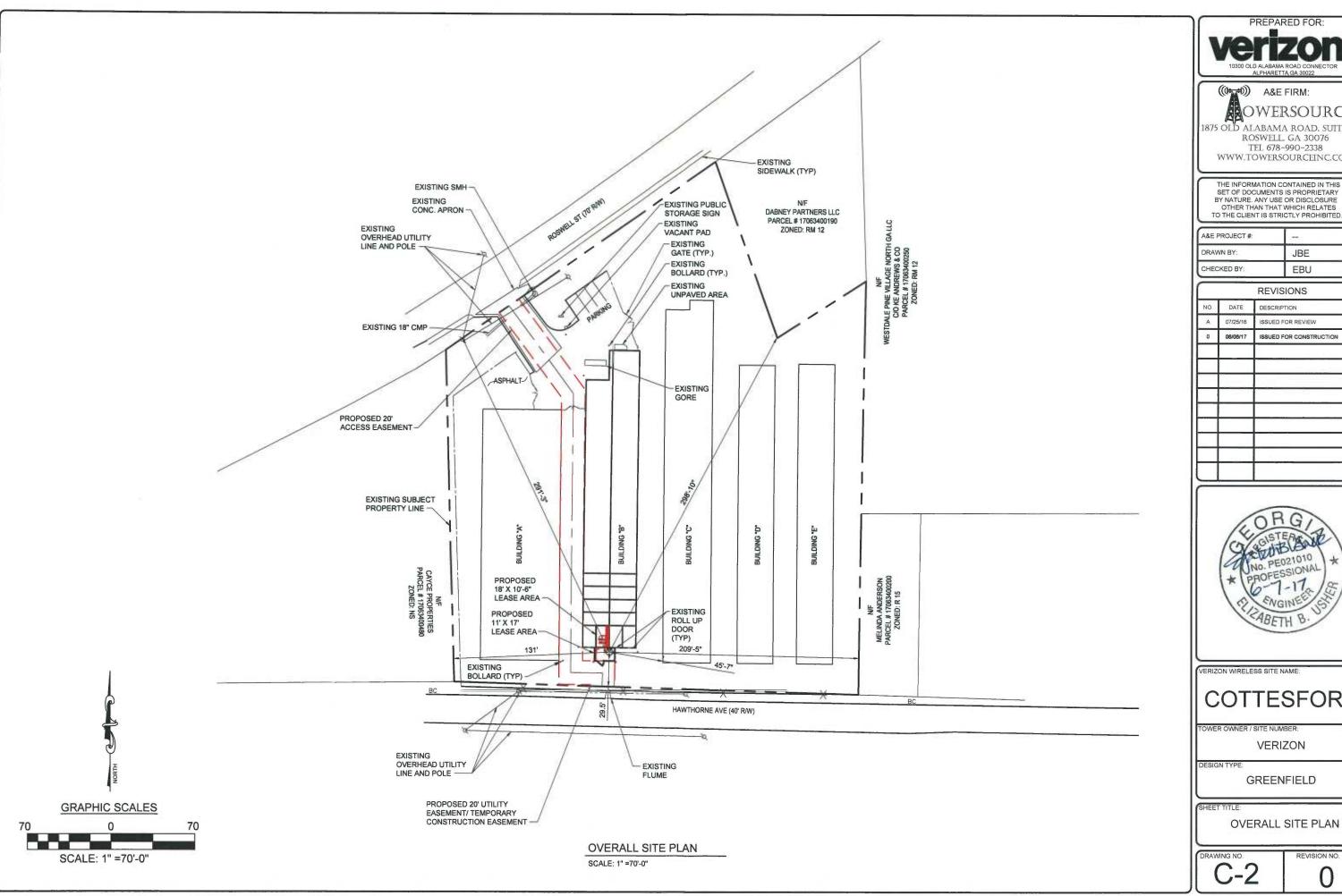
DESIGN TYPE

GREENFIELD

GENERAL NOTES

DRAWING NO

REVISION NO







1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES
TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-
DRAWN BY:	JBE
CHECKED BY:	EBU

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/08/17	ISSUED FOR CONSTRUCTION
_		
		1 2000

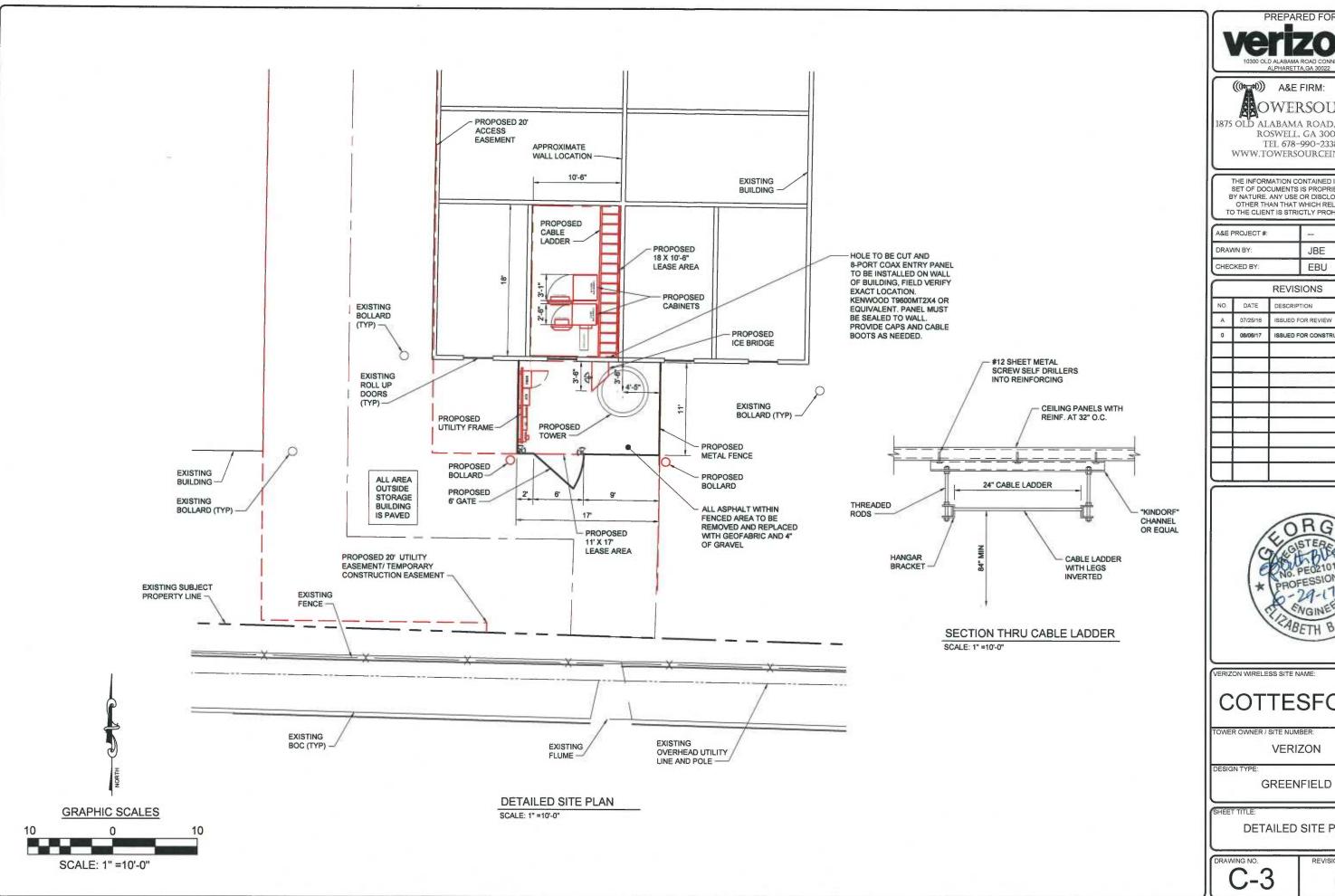


COTTESFORD

GREENFIELD

OVERALL SITE PLAN

REVISION NO.







1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

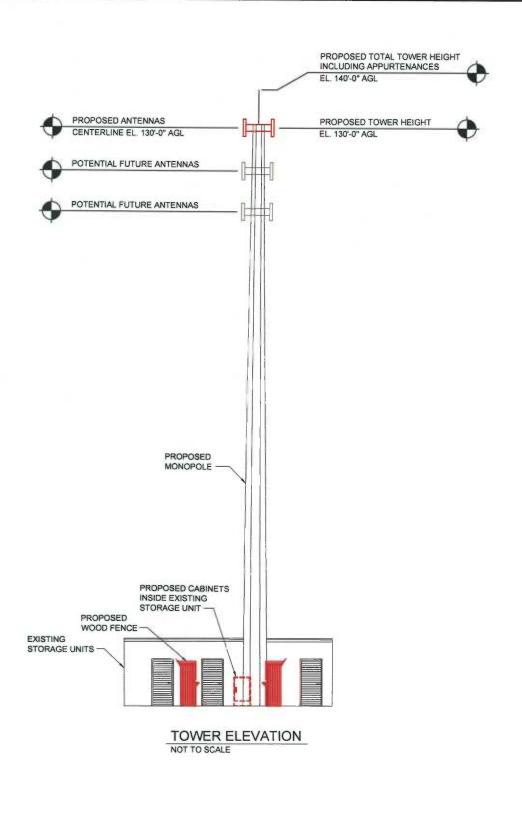
A&E PROJECT#:	170	٦
DRAWN BY:	JBE	
CHECKED BY:	EBU	J

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
		I

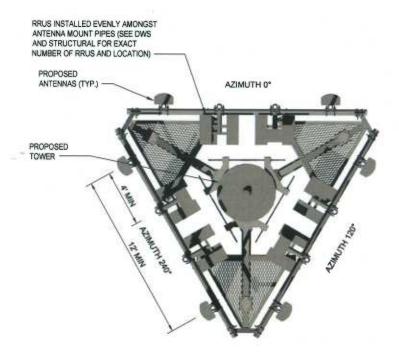


COTTESFORD

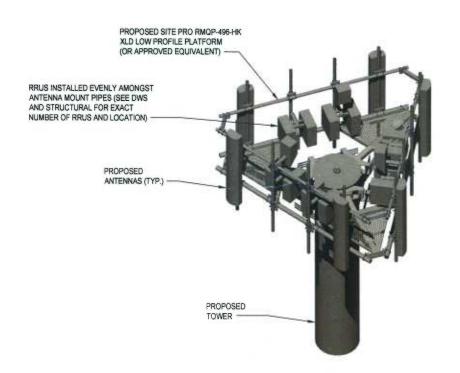
DETAILED SITE PLAN



NOTE:
- TOWER AND FOUNDATION DESIGN / CHECK PERFORMED BY
OTHERS. (MANUFACTURER)
- THIS CONSTRUCTION DOCUMENT MUST BE ACCOMPANIED BY A
SEALED & SIGNED STRUCTURAL ASSESSMENT/ANALYSIS REVIEW
MADE BY A LICENSED ENGINEER.



ANTENNA ORIENTATION DETAIL NOT TO SCALE



ANTENNA ORIENTATION DETAIL
NOT TO SCALE

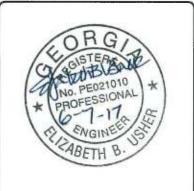


TEL 678-990-2338
WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT#:	-		
DRAWN BY:	JBE		
CHECKED BY:	EBU		

		REVISIONS
NO.	DATE	DESCRIPTION
A	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
7.7		
\exists		
\dashv		
-		



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBER:

VERIZON

DESIGN TYPE

GREENFIELD

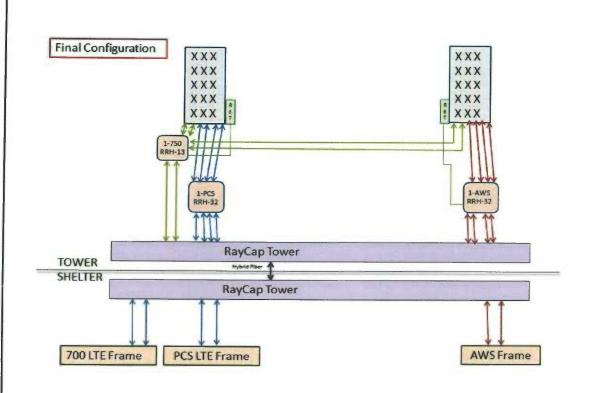
SHEET TITLE:

TOWER ELEVATION & ANTENNA MOUNT DETAILS

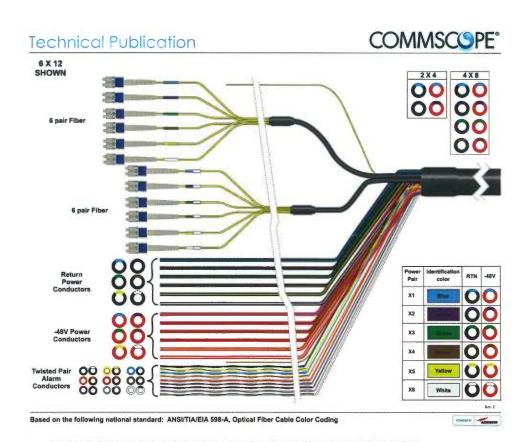
DRAWING NO.

REVISION NO.

0



ANTENNA DIAGRAM



	LTE SYA MAINAG	D1	D2	D3
	LTE 2X4 MIMO	Sector 1	Sector 2	Sector 3
	Antenna Center Line (ft)	130	130	130
	Antenna Tip Height (ft)	133.2 80010865	133.2 80010865	133.2
	Antenna Model			80010865
	Antenna Manufacturer:	KATHREIN	KATHREIN	KATHREIN
_	Antenna Ports	R1- & R2+	R1- & R2+	R1- & R2+
>	Coax (1-5/8" Hybrid)			1-
	Azimuth	0	120	240
Ŏ	Mechanical Tilt	0	0	0
	Electrical Tilt	2	2	2
	TMA Model		THE RESERVE THE PARTY OF THE PA	
	TMA Manufacturer			
	Remote Radio Head Model	RRUS B13 & A2	RRUS B13 & A2	RRUS B13 & A2
	Remote Radio Head Quantity	1	1	1
	Remote Radio A2 Module		1	1
	CDMA			
	Antenna Center Line			
	Antenna Tip Height			THE RESERVE OF THE PERSON NAMED IN
	Antenna Model			
= 1	Antenna Manufacturer:			
2	Antenna Ports			
7	Coax		THE STREET WAS CONTRACTED TO	
2	Azimuth			
6	Mechanical Tilt			
~	Electrical Tilt			DESCRIPTION OF THE RESIDENCE
Ī	Remote Radio Head Model			
F	Remote Radio Head Quantity			
	LTE 4X4 MIMO	Sector 1	Sector 2	Sector 3
1	Antenna Center Line	130	130	130
7	Antenna Tip Height	133.2	133.2	133.2
7	Antenna Model	shared with 700 MHz	shared with 700 MHz	shared with 700 MHz
7	Antenna Manufacturer:			
	Antenna Ports	Y1-, Y1+, Y2-,Y2+	Y1-, Y1+, Y2-,Y2+	Y1-, Y1+, Y2-,Y2+
3 6	Coax (1-5/8" Hybrid)	shared with 700 MHz	shared with 700 MHz	shared with 700 MHz
	Azimuth	0	120	240
April 1	Mechanical Tilt	0	0	0
-	Electrical Tilt	2	2	2
	TMA Model			
	TMA Manufacturer			
F	Remote Radio Head Model	RRUS-32	RRUS-32	RRUS-32
F	Remote Radio Head Quantity			1
	CDMA			
1/	Antenna Center Line			
	Antenna Tip Height		North Control of the	
_	Antenna Model			
_	Antenna Manufacturer:			MATERIAL DESCRIPTION OF THE PROPERTY OF THE PR
	Antenna Ports			
_	Coax			
	Azimuth			
14				
	Mechanical Tilt			
E	Mechanical Tilt Electrical Tilt			
E	Mechanical Tilt Electrical Tilt Remote Radio Head Model			
E	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity	Sector 1	Sector 2	Sector 3
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO	Sector 1	Sector 2	Sector 3
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line	130	130	130
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Untenna Tip Height	130 133.2	130 133.2	130 133.2
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model	130 133.2 80010865	130 133.2 80010865	130 133.2 80010865
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Antenna Manufacturer:	130 133.2 80010865 KATHREIN	130 133.2 80010865 KATHREIN	130 133.2 80010865 KATHREIN
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Antenna Manufacturer: Antenna Ports	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+
F	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Antenna Manufacturer: Antenna Ports Coax (1-5/8" Hybrid)	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MH2	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz
CANA	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Intenna Manufacturer: Antenna Ports Coax (1-5/8" Hybrid) Azimuth	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-, Y2+ shared with 700 MHz 240
CANA	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Antenna Manufacturer: Antenna Ports Coax (1-5/8" Hybrid)	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz 0	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz 120 0	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-, Y2+ shared with 700 MHz 240 0
CANA	Mechanical Tilt Electrical Tilt Remote Radio Head Model Remote Radio Head Quantity LTE 4X4 MIMO Antenna Center Line Antenna Tip Height Antenna Model Intenna Manufacturer: Antenna Ports Coax (1-5/8" Hybrid) Azimuth	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-,Y2+ shared with 700 MHz	130 133.2 80010865 KATHREIN Y1-, Y1+, Y2-, Y2+ shared with 700 MHz 240

RRH Model Number	RRUS32
RRH Quantity	6 on top
RRH Model Number	RRUS B13 & A2
RRH Quantity	3 on top
RayCap Model Number	RC3DC-3315-PF-48
RayCap Quantity	3
Diplexer Type	War spraches
Diplexer Manufacturer	The second second second
Diplexer Model	Committee of the last
Diplexer Quantity	none

RF DESIGN SHEET DWS R1

- 1. CONTRACTOR TO VERIFY MOST CURRENT RF DESIGN WORKSHEET (DWS) 2. REFER TO DWS AND VERIFY AZIMUTH AND DOWNTILT#NFORMATION.
- 3. REFER TO STRUCTURAL ANALYSIS OF THE TOWER FOR COAX ROUTING





ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:		
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
_		
-		
		I



VERIZON WIRELESS SITE NAME:

COTTESFORD

OWER OWNER / SITE NUMBER:

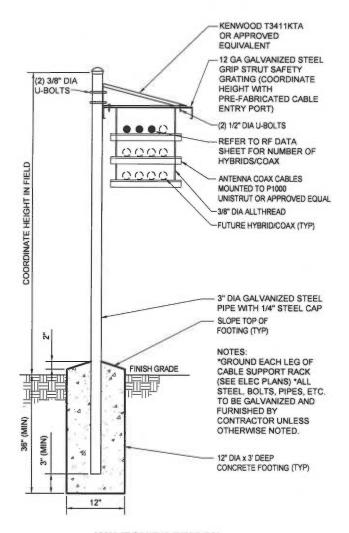
VERIZON

GREENFIELD

FIBER COLOR CODE

REVISION NO.

FIBER COLOR CODE (CONTACT CM FOR COLOR COPY)



WAVEGUIDE BRIDGE

NOT TO SCALE



(%) A&E FIRM:
OWERSOURCE

1875 OLD ALABAMA ROAD. SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-		
DRAWN BY:	JBE		
CHECKED BY:	EBU		

	REVISIONS		
NO.	DATE	DESCRIPTION	
Α	07/25/16	ISSUED FOR REVIEW	
0	06/06/17	ISSUED FOR CONSTRUCTION	
\neg			
\dashv			
-	_		
-			



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBER:

VERIZON

DESIGN TYPE:

GREENFIELD

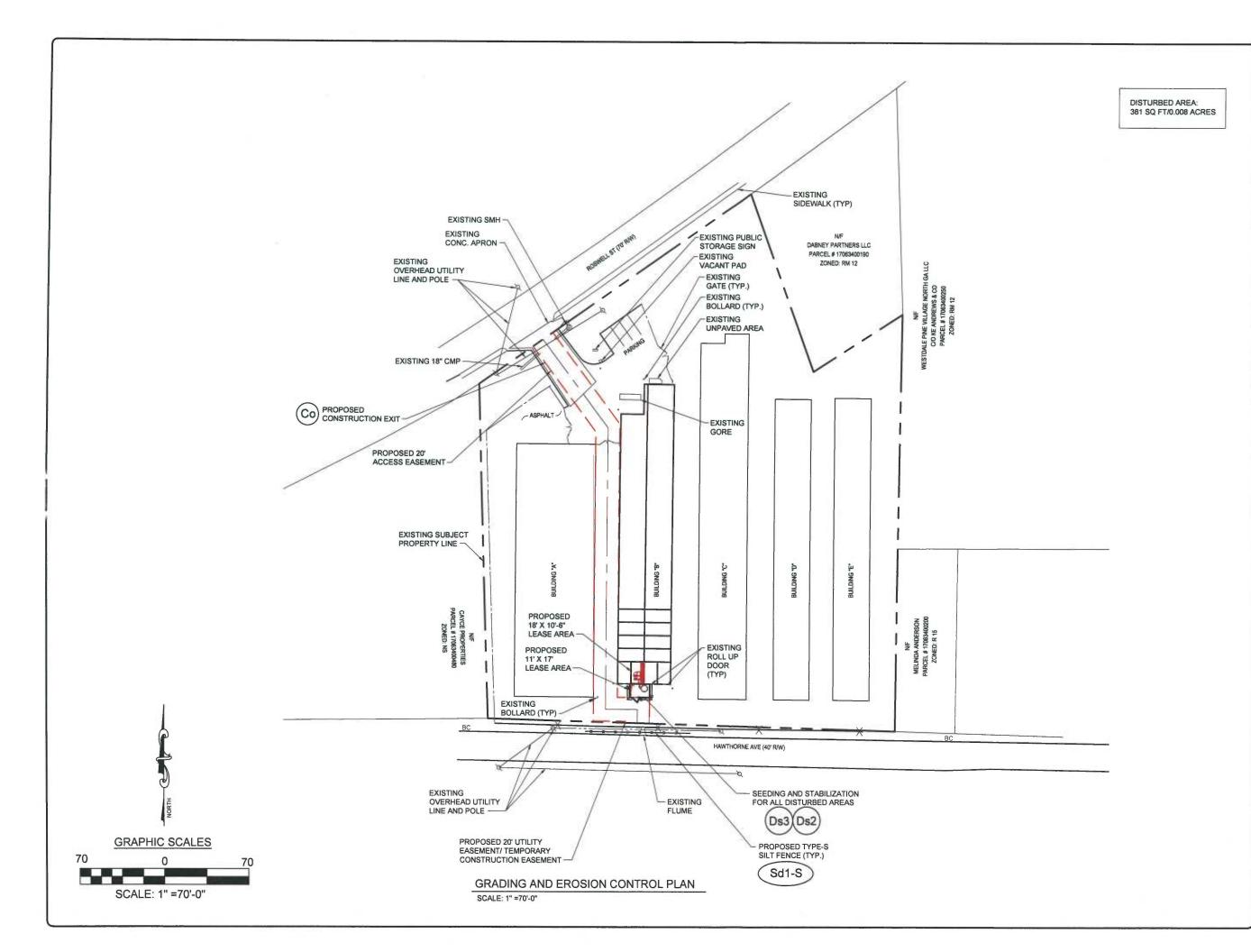
SHEET TITLE

FOUNDATION DETAILS

DRAWING NO.

C-6

REVISION NO.







1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	770	
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
	=5.7	
_		
_		
-		



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBER:

VERIZON

SIGN TYPE

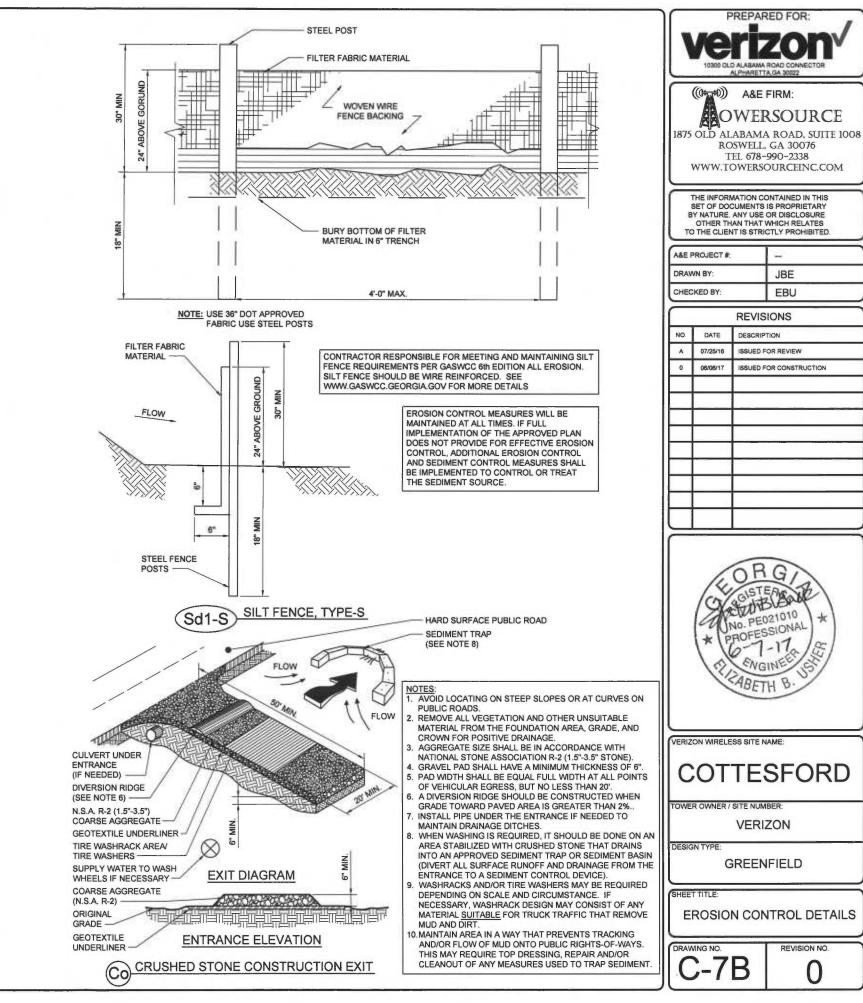
GREENFIELD

CCT TITLE

GRADING & EROSION CONTROL PLAN

C-7A

0





((hat)) A&E FIRM: OWERSOURCE

ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

l	A&E PROJECT #:	-	
l	DRAWN BY:	JBE	
l	CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
		- - - - - - - -



COTTESFORD

GREENFIELD

EROSION CONTROL DETAILS

REVISION NO.

EXCAVATION & GRADING NOTES:

- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- BACKFILLING SHALL:

-USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE;

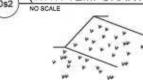
- -BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS -BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- FILL PREPARATION 6 REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL, GRAVEL SURFACING MATERIAL MAY BE USED. FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- 12. ALL CUT AND FILL SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAXIMUM
- REMOVE ALL ORGANICS, ROCKS GREATER THAN 3", UNUSED FILL AND OTHER 13. DEBRIS TO AN AREA OFF SITE IN A LEGAL MANNER



DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) NO SCALE



DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)



DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

ACTIVITY SCHEDULE	
WORK DESCRIPTION	WORKING DAYS
INSTALLATION OF EROSION CONTROL MEASURES	1-2
CLEARING, GRUBBING, AND GRADING	3-5
MAINTAINING EROSION CONTROL MEASURES	6-8
TEMPORARY GRASSING	9-12
BUILDING CONSTRUCTION	13-19
FINAL LANDSCAPING, GRASSING	20-23
REMOVING EROSION CONTROL MEASURES	24-26

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- 1. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS
- 2. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- 3. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. CONTRACTOR SHALL CALL APPROPRIATE COUNTY FOR AN INSPECTION OF SOIL EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING ACTIVITY ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL

UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED.

- 4. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING FROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 5. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. FOUL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR ELECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- 7. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
- 8. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH SEEDING.

A. SEEDING WITH MULCH (CONVENTIONAL SEEDING ON SLOPES LESS THAN 3:1) HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE

4000 LBS./acre

FERTILIZER, 5-10-15

1500 lbs./acre

MULCH STRAW OR HAY

5000 lbs./arce

SEED SPECIES	APPLICATION RATE/ACRE	PLANNING DATES
HULLED COMMON BERMUDA GRASS	10lbs.	3/1 - 6/15
FESCUE	50lbs.	9/1 -10/31
FESCUE RYE GRASS	50lbs. 50lbs.	11/1 -2/28
HAY MULCH FOR TEMPORARY COVER	5000lbs.	6/15 -8/31

B. TOPDRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL FERTILIZER (AMMONIUM NITRATE 33.5%)

C. SECOND-YEAR-FERTILIZER: (5-10-15 OR EQUIVALENT)

300 lbs./acre 800 lbs./acre

HYDRAULIC SEEDING EQUIPMENT

WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED. NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING, THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED.

CONVENTIONAL SEEDING EQUIPMENT

GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED AND FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.

- 11. CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- 13. ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE
- 16. THE ONLY MATERIAL TO BE BURIED ON-SITE IS VEGETATIVE MATERIAL. CONSTRUCTION WASTE MAY
- NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

 17. A 25' MIN UNDISTURBED VEGETATIVE BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL



((Harri)) A&E FIRM: OWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1008

ROSWELL, GA 30076 TEL 678-990-2338

WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES

TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-	
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
_		
-		
1		l .



ERIZON WIRELESS SITE NAME:

COTTESFORD

OWER OWNER / SITE NUMBER:

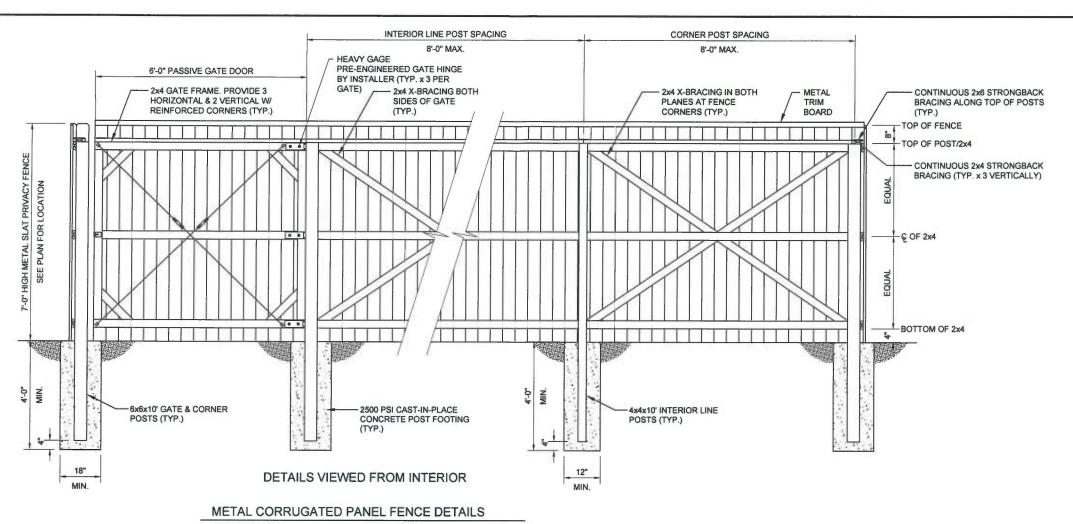
VERIZON

DESIGN TYPE

GREENFIELD

GRADING & SEDIMENT CONTROL NOTES

REVISION NO



FENCE NOTES:

- 1. ALL WOOD MATERIALS SHALL BE PRESSURE TREATED NO. 2 SOUTHERN YELLOW PINE OR BETTER STRUCTURAL GRADE.
- 2. ALL STRUCTURAL FRAMING SHALL BE ATTACHED WITH 16D GALVANIZED RIBBED SHANK NAILS OR 3" GALVANIZED FRAMING SCREWS - 2 MINIMUM PER CONNECTION.
- 3. ALL FENCE SLAT BOARDS SHALL BE ATTACHED TO SUPPORTING STRUCTURAL MEMBERS WITH N8, N10 OR 8D GALVANIZED RIBBED SHANK NAILS - 2 MINIMUM PER CONNECTION.
- 4. LINE POSTS SHALL BE SPACED EQUIDISTANT, BUT NOT MORE THAN 10'-0" ON CENTER.
- 5. FOUNDATIONS ARE DESIGNED TO EMBED INTO TYPICAL SOILS INCLUDING COMPACTED COARSE SAND, MEDIUM STIFF CLAY, OR HARD DENSE CLAY. THE SOIL TYPE SHALL BE VERIFIED PRIOR TO CONSTRUCTION. IF UNUSUAL CONDITIONS ARE FOUND TO EXIST, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
- 6. INSTALLER TO PROVIDE A LOCKABLE GATE LATCH WITH COMBINATION LOCK ON THE ACTIVE DOOR. COORDINATE WITH THE CONSTRUCTION MANAGER FOR VERIZON LOCK COMBINATION.
- ALL GATE HARDWARE SHALL BE PRESSED STEEL OR MALLEABLE CASTING PER ASTM A153 AND TREATED TO RESIST CORROSION. HARDWARE VISIBLE FROM OUTSIDE THE FENCE SHALL BE PAINTED BLACK.
- 8. REFER TO SITE PLAN FOR FENCE PAINTING INSTRUCTIONS.
- 9. REFER TO SITE PLAN FOR GATE LOCATION.
- 10. FENCE DETAILS SHOWN ABOVE ARE TYPICAL AND SHALL APPLY TO SIMILAR CONSTRUCTION APPLICATIONS WHETHER SPECIFICALLY STATED OR NOT ON THE SITE PLAN.
- 11. SITE SPECIFIC CONDITIONS MAY REQUIRE SLIGHT ADJUSTMENTS TO THE DETAILS SHOWN. CONSULT THE ENGINEER IF UNUSUAL CONDITIONS ARE FOUND TO EXIST.

NOT TO SCALE

COMPOUND FINAL GRADE NOTES

4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.

GEOTEXTILE FABRIC TO BE INSTALLED OVER COMPACTED BASE.

4" OF GRAVEL SHOULD BE SPREAD ON TOP OF GEO FABRIC THROUGHOUT COMPOUND AND 12" TO 18" OUTSIDE FENCE.

FINISH GRADE SHALL BE UNIFORM AND LEVEL

NOTE: UNLESS OTHERWISE DIRECTED BY VZW PROJECT MANAGER OR TOWER OWNER, AND UNLESS LOCAL ZONING CODES AND REQUIREMENTS DICTATE OTHERWISE, GENERAL CONTRACTOR IS RESPONSIBLE FOR MATCHING NEW FENCE TO THE EXISTING FENCE WITH REGARD TO MATERIALS, STYLE, COLOR, MANUFACTURE, APPEARANCE, AND ASSEMBLY, METAL FENCE MATERIAL SHOULD MATCH THE MATERIAL USED FOR THE STORAGE UNIT.



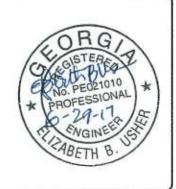
(A&E FIRM: OWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1008

ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-
DRAWN BY:	JBE
CHECKED BY:	EBU

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
-		



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBER:

VERIZON

DESIGN TYPE:

GREENFIELD

FENCE DETAILS

REVISION NO

GENERAL NOTES

1. SCOPE

PROVIDE LABOR, EQUIPMENT, MATERIALS, ETC., REQUIRED TO COMPLETE THE INSTALLATION SHOWN.

INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND ORDINANCES, UTILITY COMPANY REGULATIONS, & APPLICABLE REQUIREMENTS OF LATEST EDITIONS OF CODES LIST ON C-1

OBTAIN & PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.

4. COORDINATION:

COORDINATE ELECTRICAL WORK WITH OTHER TRADES.

SUBMITTALS

SUBMIT BROCHURES FOR APPROVAL ON DISCONNECT SWITCH & OTHER MAJOR SYSTEM COMPONENTS.

DO NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER

7. EQUIPMENT

CONNECT ELECTRICALLY OPERATED EQUIPMENT.

MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DOCUMENTS WHICH SHALL BE TURNED OVER TO THE OWNER UPON COMPLETION OF THE PROJECT

9. IDENTIFICATION:

IDENTIFY DISCONNECT SWITCH WITH PERMANENT ENGRAVED NAMEPLATE.

GUARANTEE INSTALLATION TO BE FREE OF DEFECTS, SHORTS, GROUNDS. ETC., FOR A PERIOD OF ONE YEAR. FURNISH WARRANTY SO THE DEFECTIVE MATERIALS AND/OR WORKMANSHIP WILL BE REPAIRED/REPLACED IMMEDIATELY UPON NOTIFICATION AT NO COST TO THE OWNER FOR PERIOD OF WARRANTY.

11. CUTTING & PATCHING:

PROVIDE CUTTING REQUIRED TO DO THE WORK. DO NOT CUT STRUCTURAL ELEMENTS WITHOUT APPROVAL. PATCHING SHALL BE OF QUALITY EQUAL TO & OF MATCHING APPEARANCE OF EXISTING CONSTRUCTION.

12. TRENCHING & BACKFILL:

PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES.

UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT (MEETING NEMA TC2-1990). UNDERGROUND PVC CONDUIT SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT BEFORE RISING ABOVE GRADE OR WHEN SUBJECTED TO VEHICLE TRAFFIC LOADS. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 24" RADIUS. EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL. RGS CONDUIT, WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. INTERIOR CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH COMPRESSION TYPE FITTINGS.

14. SUPPORTS:

AS REQUIRED BY THE NEC.

15 CONDUCTORS

USE 98% CONDUCTIVITY COPPER WITH TYPE THHN/THWN INSULATION, 600 VOLT, COLOR CODED, USE SOLID CONDUCTORS FOR WIRE UP TO #8 AWG. USE STRANDED CONDUCTORS FOR WIRE #8 AWG AND ABOVE.

16. CONNECTORS FOR POWER CONDUCTORS: USE PRESSURE TYPE INSULATED TWIST CONNECTORS FOR #10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR #8 AWG AND LARGER.

17. GROUNDING:

- A. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.
 B. ALL CONNECTIONS SHALL BE 2- HOLE LUG UNLESS UNDERGROUND.
- C. LUGS SHALL BE ATTACHED TO GROUND BARS USING STAINLESS STEEL OR HOT-DIPPED GALVANIZED STEEL BOLTS, NUTS, & LOCKWASHERS
- D. PROVIDE TESTING OF GROUNDING SYSTEM AS DIRECTED BY CONSTRUCTION MANAGER.

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES, LAWS, AND ORDINANCES.
- ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE INDICATED. CONDUITS EXPOSED ABOVE GROUND OR ROUTED UNDER GRAVEL ROAD SHALL BE RIGID GALVANIZED STEEL, ALL UNDERGROUND CONDUIT SHALL TRANSITION FROM PVC TO RIGID AT THE 90° BEND BELOW GRADE. SUPPLY UTILITY MARKING TAPE BURIED 12" BELOW GRADE ALONG ENTIRE LENGTH OF UNDERGROUND CONDUITS.
- ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. CONTROL CONDUCTORS SHALL BE STRANDED. POWER & LIGHTING CONDUCTORS SHALL BE SOLID FOR #10 & #12 CONDUCTORS AND STRANDED.
- 4. ELECTRICAL DRAWINGS ARE IN PART DIAGRAMMATIC. COORDINATE ELECTRICAL WORK WITH BUILDING STRUCTURE AND MECHANICAL EQUIPMENT. PROVIDE ADDITIONAL SUPPORTS FOR ELECTRICAL EQUIPMENT WHERE THE BUILDING STRUCTURE IS NOT ADAPTED TO MOUNTING EQUIPMENT THEREON.
- 5. LOCATE ALL UNDERGROUND UTILITIES BEFORE TRENCHING. IF CONFLICTS ARISE, CONTACT UTILITY COMPANY AND ENGINEER IMMEDIATELY.
- 6. ALL EXPOSED CONDUITS SHALL HAVE WEATHERPROOF CAPS NOT DUCT TAPE.
- 7. PROVIDE 200 LB TEST PULL WIRES IN EACH EMPTY TELEPHONE AND POWER CONDUIT.
- 8. COORDINATE ALL CONDUIT STUB-UP LOCATIONS WITH UTILITY COMPANY.
- 9. PROVIDE WEATHERPROOF SEALS FOR ALL CONDUIT STUB-UPS.
- 10. CONDUIT TO BE INSTALLED PER NEC REQUIREMENTS. MAX OF 4 90'S ALLOWED IN SINGLE RUN OF CONDUIT. F MORE BENDS ARE REQUIRED INSTALL PULL BOX EVERY (4) 90'S. 4 BENDS OR 150' IN LENGTH
- 11. FIBER CONDUITS: CONDUITS TO BE INSTALLED FROM ROW OF PUBLIC ROAD TO COMPOUND. HAND HOLES TO BE INSTALLED IN ROW AT COMPOUND AND EVERY 400' BETWEEN (OR AS DIRECTED BY LITHLITY OR REQUIRED BY NEC). USE HIGHLINE PHA173030 12.000LB HAND HOLE OR APPROVED EQUIVALENT 11.1. CONDUIT 1 (VERIZON'S, WHEN PROVIDER IS TOWERCLOUD, SOUTHERNLIGHT, COX OR ZAYO): RUN (1) 2"C WITH (2) PULL STRINGS FROM VERIZON HAND HOLE AT
 - ROW OF STREET STRAIGHT TO NEMA BOX ON VERIZON'S UTILITY FRAME.
 - 11.2. CONDUIT 2* (WHEN PROVIDER IS AT&T OR WINDSTREAM)
 - 11.2.1. GREENFIELDS AND COLOS WHERE PROVIDER DOES NOT HAVE NEMA BOX IN COMPOUND: RUN (1) 2"C WITH (2) PULL STRINGS FROM FIBER PROVIDERS HAND HOLE AT ROW TO NEMA CABINET MOUNTED ON MULTI TENANT FRAME. AND ALSO FROM MULTI TENANT NEMA CABINET TO VERIZON'S NEMA BOX ON UTILITY FRAME.
 - (STUB UP CONDUIT IF FIBER PROVIDER IS NOT YET AT ROW)
 - 11.2.2. COLOS WHERE PROVIDER HAS EXISTING MULTI TENANT NEMA BOX IN COMPOUND: ONLY RUN (1) 2" C WITH (2) PULL STRINGS FROM EXISTING MULTI TENANT NEMA TO VERIZON'S NEMA BOX ON UTILITY FRAME

*CONSULT CM FOR CORRECT FIBER PROVIDER OPTION.
*CONTRACTOR RESPONSIBLE FOR ENSURING EASEMENT IS CORRECTLY MARKED IN FIELD BEFORE INSTALLING

GENERAL GROUNDING NOTES:

- TO ENSURE PROPER BONDING, ALL CONNECTIONS SHALL BE AS FOLLOWS:
- #2 TINNED SOLID COPPER WIRE: CADWELDED TO RODS OR GROUND RING
- LUGS AND BUS BAR (UNLESS NOTED OTHERWISE): SANDED CLEAN, COATED WITH OXIDE INHIBITOR AND 1.2. BOLTED FOR MAXIMUM SURFACE CONTACT. ALL LUGS SHALL BE COPPER (NO ALUMINUM SHALL BE PERMITTED). PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
- 2. ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALLS SHALL BE IN 3/4" PVC CONDUIT. SEAL AROUND CONDUIT THROUGH WALLS. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTORS.
- 3. GROUND RODS SHOULD BE SPACED 2X HEIGHT APART AROUND COMPOUND GROUND RING. (EX. 10' ROD
- VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE WILL BE PRESENT TO INSPECT CADWELDS AND MEGGER TEST DURING BURIAL. MAXIMUM 5 OHMS RESISTANCE IS REQUIRED. IF COMPOUND GROUND RING AND RODS DON'T MEET REQUIREMENTS THEN CONTINUE GROUND RING DOWN EASEMENT WITH GROUND RODS SPACED AT 2X HEIGHT APART.
- 5. DO NOT INSTALL GROUND RING OUTSIDE OF LEASED AREA.
- MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS SHALL BE A MINIMUM 8" RADIUS AND NO GREATER THAN 90 DEGREES.
- 7. ALL CADWELDS TO BURIED GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS
- BOND DOOR FRAMES, HANDRAILS, UNUSED HATCH PLATES AND MISCELLANEOUS LIFTING EYE/PLATES TO GROUND RING. BOND METAL AWNING TO DOOR FRAME
- ALL GROUNDING TO ABOVE GRADE RIGID CONDUITS TO BE ATTACHED USING A COLD WATER GROUND CLAMP, DO NOT EXOTHERMICALLY WELD TO CONDUITS.
- 10. ALL BUSS BAR SHALL BE GALVANIZED, ALL CONNECTIONS TO BUSS BAR ARE TO BE 2 HOLE LUGS.
- 11 ALL GROUNDING IS TO COMPLY WITH VERIZON NSTD46. IF YOU DO NOT HAVE A COPY OF THE PRACTICE/STANDARD PLEASE REQUEST A COPY FROM THE PROJECT MANAGER.



((+1)) A&E FIRM: OWERSOURCE

1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED

A&E PROJECT #:	4	
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
_		
_		
-		



VERIZON WIRELESS SITE NAME:

COTTESFORD

OWER OWNER / SITE NUMBER:

VERIZON

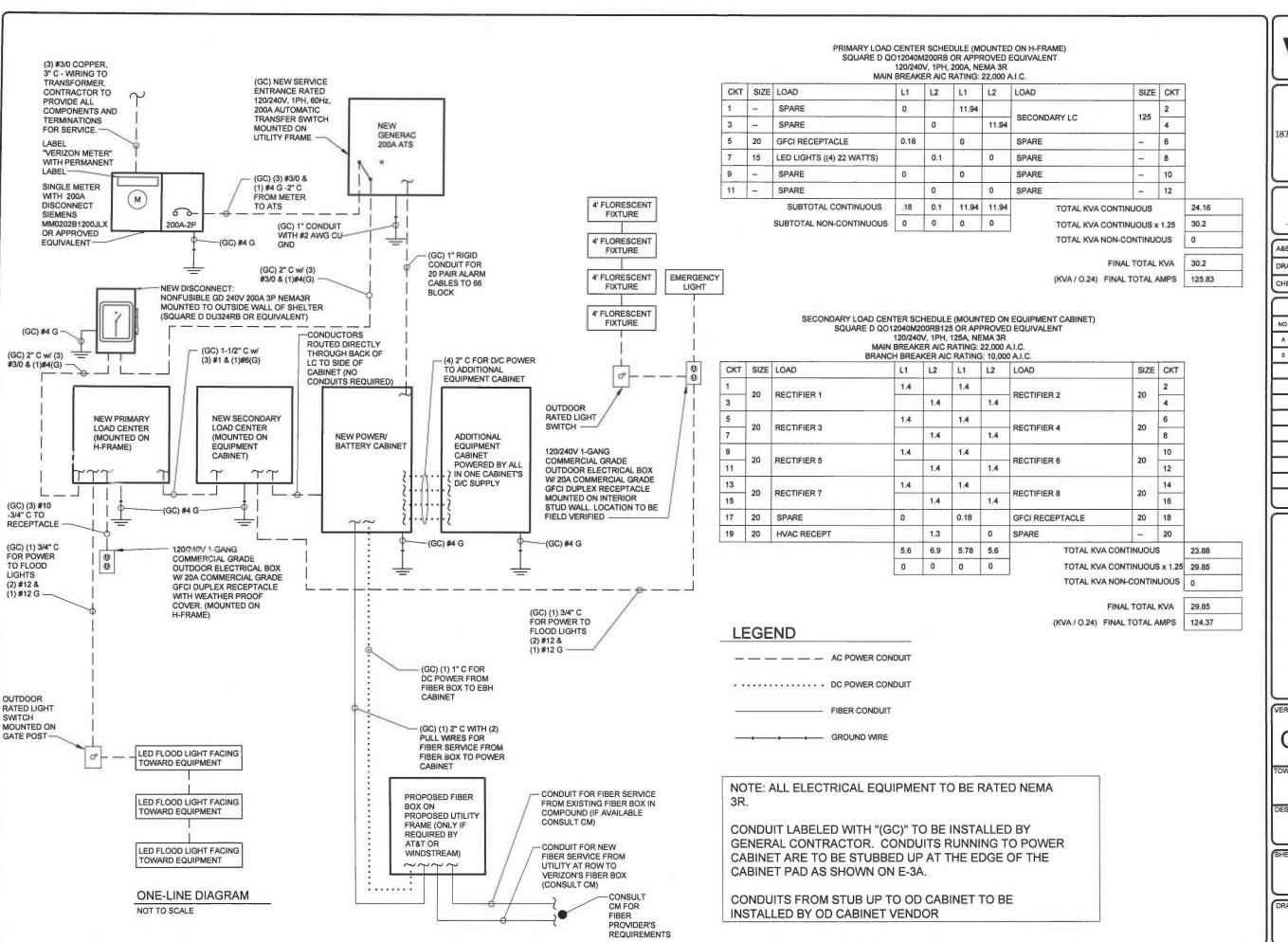
DESIGN TYPE

GREENFIELD

SHEET TITLE

ELECTRICAL NOTES

REVISION NO.





((+) A&E FIRM: OWERSOURCE

1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED

A&E PROJECT #:	-
DRAWN BY:	JBE
CHECKED BY:	EBU

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
_		
_		
_		
_		



VERIZON WIRELESS SITE NAME:

COTTESFORD

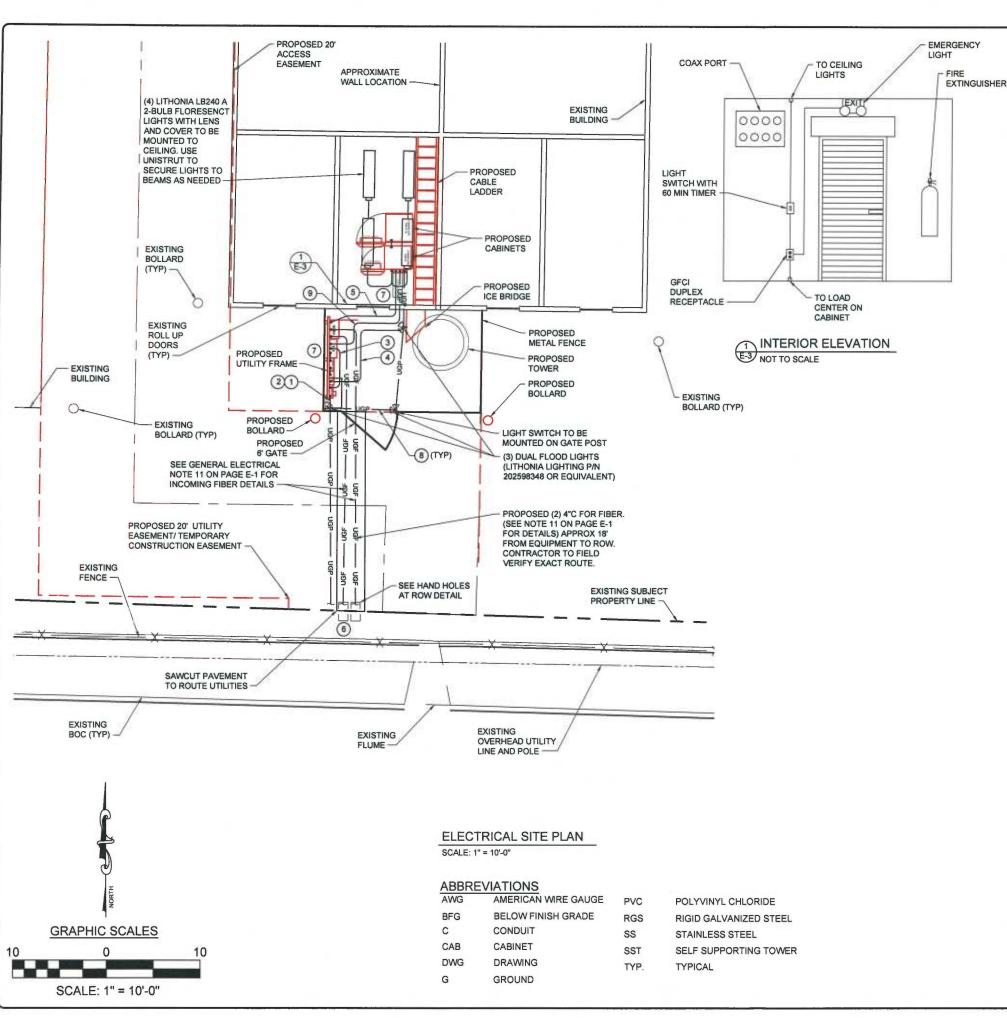
OWER OWNER / SITE NUMBER

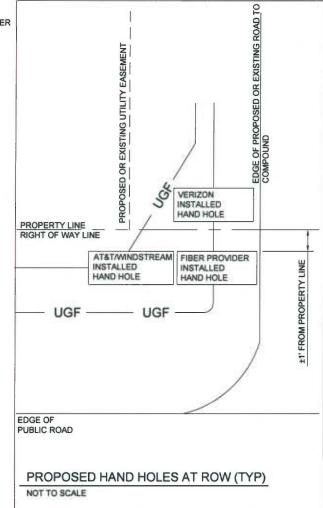
VERIZON

GREENFIELD

ONE-LINE DIAGRAM

REVISION NO





REFER TO E-1 FOR GENERAL **ELECTRICAL NOTES**

CODED DRAWING NOTES:

- UTILITY TO DIRECT BURY OR CONTRACTOR TO INSTALL (1) 4"C WITH PULL WIRE FOR POWER SERVICE FROM UTILITY TO NEW TRANSFORMER. SEE PM FOR DETAILS. COORDINATE WITH UTILITY FOR TRANSFORMER LOCATION.
- (1) 4"C FOR POWER SERVICE FROM TRANSFORMER TO SINGLE METER; REFER TO E-1.
- (1) 2"C W PULL WIRE FROM METER/DISCONNECT TO ATS ON FRAME AND (1) 2"C FROM ATS TO DISCONNECT AND FROM DISCONNECT TO DISCONNECT AND FROM DISCONNECT TO PRIMARY LOAD CENTER: REFER TO F-2
- (1) 1-1/2"C FROM PRIMARY LOAD CENTER (ON UTILITY H-FRAME) TO SÉCONDARY LOAD CENTER (ON CABINET).
- (1) 2"C W PULL WIRE FOR FIBER AND (1) 1"C W PULL WIRE FOR DC POWER FROM RADIO/AUX CABINET TO FIBER BOX ON FRAME; REFER
- COORDINATE ELECTRICAL SERVICE REQUIREMENTS IN ADVANCE WITH UTILITY COMPANY. STUB UP POWER AND TELEPHONE CONDUIT AS DIRECTED BY UTILITY COMPANY
- MAINTAIN ALL NEC CLEARANCES.
- (1) 1 1/4"C FOR POWER FROM PRIMARY LOAD CENTER TO LIGHTS; REFER TO E-2.
- (1) 1"C FROM ATS TO POWER CABINET FOR ALARM; REFER TO E-2.



((A&E FIRM: OWERSOURCE

1875 OLD ALABAMA ROAD, SUITE 100 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES
TO THE CLIENT IS STRICTLY PROHIBITED.

ı	A&E PROJECT #:		
ı	DRAWN BY:	JBE	
	CHECKED BY:	EBU	

		EBG	J
		REVISIONS	1
NO.	DATE	DESCRIPTION	
Α	07/25/16	ISSUED FOR REVIEW	
0	06/06/17	ISSUED FOR CONSTRUCTION	
			1
			٦
			٦
			1
			1
			1
			1
_			┨



VERIZON WIRELESS SITE NAME:

COTTESFORD

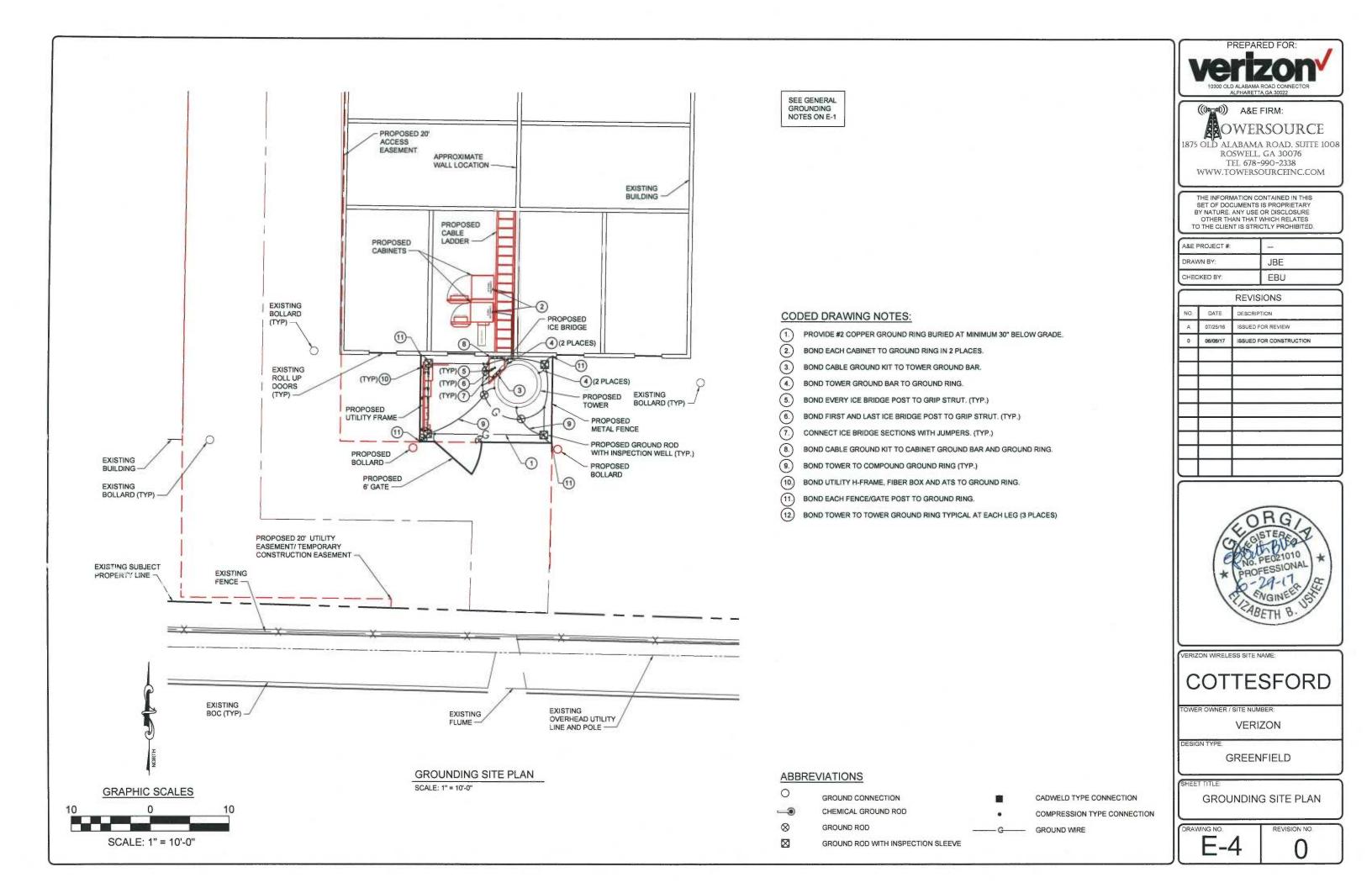
TOWER OWNER / SITE NUMBER:

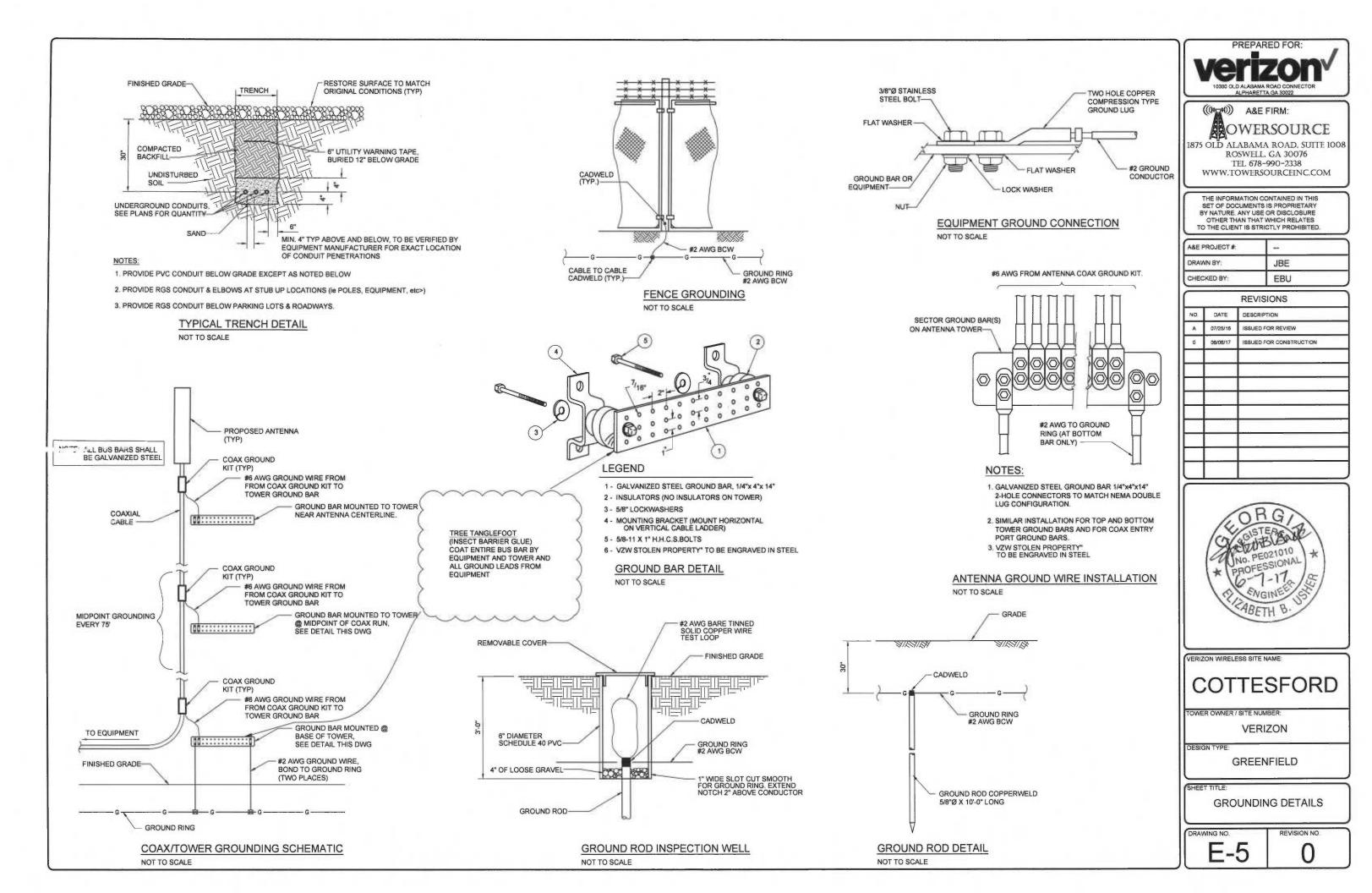
VERIZON

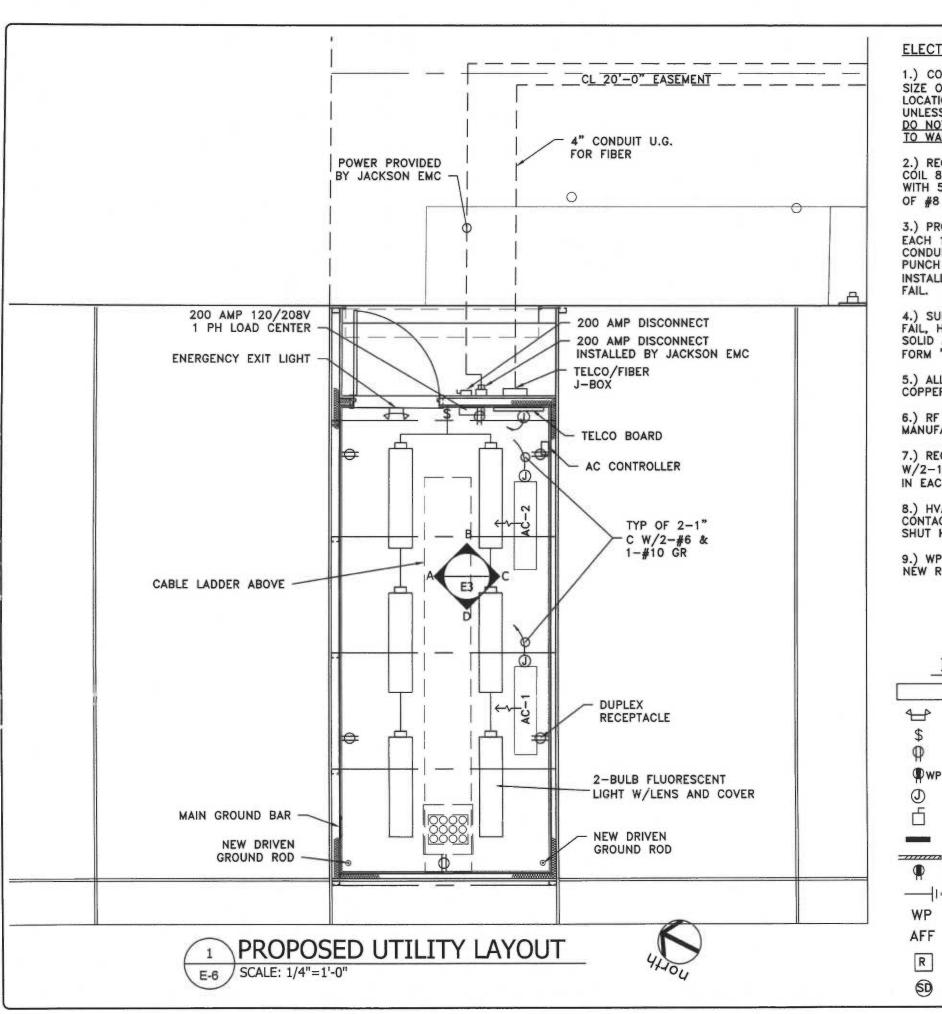
GREENFIELD

ELECTRICAL SITE PLAN

REVISION NO.







ELECTRICAL NOTES:

- 1.) CONDUIT TO BE EMT OR RIGID UNLESS NOTED. MIN. SIZE OF CONDUIT AND FITTINGS ARE 1/2 INCH. LAYOUT LOCATIONS ARE FOR REFERENCE ONLY AND MAY VARY UNLESS OTHERWISE NOTED. DO NOT MOUNT CONDUIT TO CABLE TRAY. MOUNT CONDUIT TO WALLS OR TO CEILING PANELS.
- 2.) RECTIFIER DROPS: RECTIFIER #1 THRU #8 DROP COIL 8 FEET OF 1 INCH LIQUID TIGHT FLEX CONDUIT WITH 5 FT OF WIRE EXTENDING OUT OF CONDUIT. 4 SETS OF #8 CONDUCTORS W/#12 GROUNDS. IN EACH CONDUIT.
- 3.) PROVIDE BOTH STRAIGHT AND ELBOW COUPLINGS AT EACH 1" CONDUIT. ALARM WIRING WILL BE INSTALLED IN CONDUIT FROM THE ORIGINATING DEVICE TO THE TELCO PUNCH DOWN BOARD. THE FOLLOWING ALARMS SHALL BE INSTALLED: 1.) HI TEMP, 2) LOW TEMP, 3) AC POWER
- 4.) SURGE ARRESTOR, FIRE ALARM, OPEN DOOR, HVAC-1, FAIL, HVAC-2 , FAIL ALARM WIRING SHALL BE 24 GAUGE SOLID AND EACH ALARM WILL BE PROVIDED BY A SET OF FORM 'C' CONTACTS.
- 5.) ALL CONDUCTORS FOR POWER AND GROUNDING TO BE CÓPPER WITH THHN INSULATION.
- 6.) RF CABLE SUPPORT (CABLE TRAY) SHALL BE MANUFACTURED BY PW SOUTHERN.
- 7.) RECTIFIER J-BOX 12X12X6 MOUNTED TO CEILING W/2-1"C HR'S TO PANEL W/8-#10 AND 1-#10 GROUND IN EACH 2-3/4" SEALTITE DROPS
- 8.) HVAC CONTROL POWER IS ROUTED THROUGH A RELAY CONTACT PROVIDED WITH FIRE ALARM SYSTEM. THIS WILL SHUT HVAC UNITS OFF IN EVENT OF FIRE.
- 9.) WP DUPLEX RECEPTICAL TO BE PROVIDED AT NÉW ROOF PLATFORM FOR CONDENSING UNITS

ELECTRICAL SYMBOLS LEGEND

LITHONIA LB240 A 2-BULB FLUORESCENT LIGHT W/LENS & COVER

1 EMERG. EXIT LTG. FIXT. - WALL MTD. W/ BAT. PACK

\$ TOGGLE SWITCH 0 DUPLEX RECEPTACLE

GROUND FAULT INTERRUPTING RECEPTACLE

JUNCTION BOX Г DISCONNECT SWITCH

PANELBOARD

TELEPHONE BACKBOARD- WHERE LOCATED GFI RECEPTACLE

GROUND CONNECTION AS NOTED WP WEATHERPROOF

AFF ABOVE FINISHED FLOOR

R 6X6X4 J-BOX RELAY SD

SMOKE DETECTOR





1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	-	
DRAWN BY:	JBE	
CHECKED BY:	EBU	

		REVISIONS
NO.	DATE	DESCRIPTION
Α	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
	- 111	
_		



VERIZON WIRELESS SITE NAME:

COTTESFORD

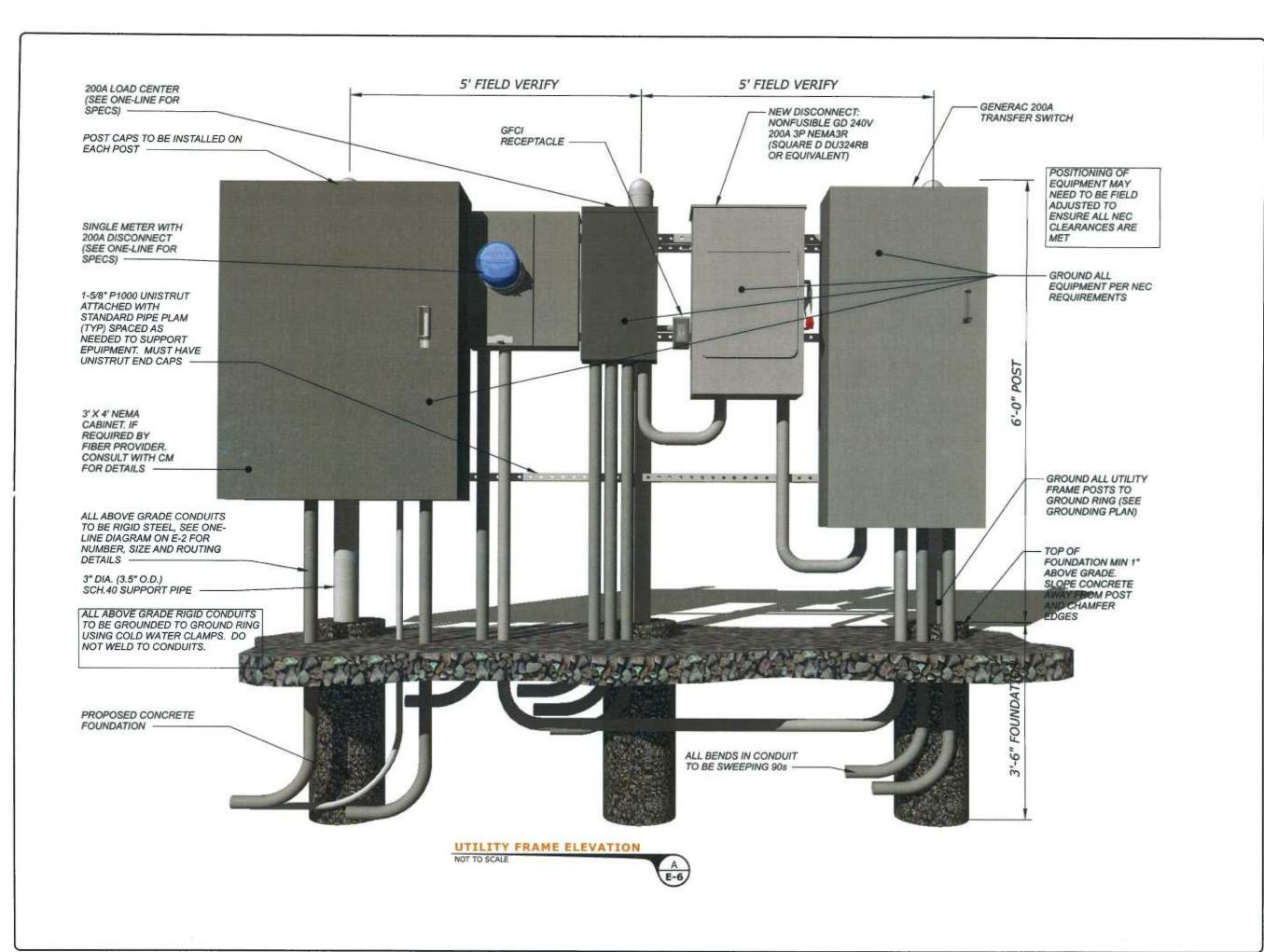
OWER OWNER / SITE NUMBER:

VERIZON

GREENFIELD

GROUNDING DETAILS

REVISION NO.





(%) A&E FIRM:
OWERSOURCE

1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL 678-990-2338 WWW.TOWERSOURCEINC.COM

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:		
DRAWN BY:	JBE	
CHECKED BY:	EBU	

-		
		REVISIONS
NO.	DATE	DESCRIPTION
А	07/25/16	ISSUED FOR REVIEW
0	06/06/17	ISSUED FOR CONSTRUCTION
	- 1	
-		
-		
_		
		1



VERIZON WIRELESS SITE NAME:

COTTESFORD

TOWER OWNER / SITE NUMBE

VERIZON

DESIGN TYPE:

IGN TYPE:

GREENFIELD

SHEET TITLE:

UTILITY FRAME DETAILS

DRAWING NO.

REVISION NO.

0

Exhibit D

PROPOSED LEASE AREA #1 VERIZON WIRELESS "COTTESFORD"

All that tract or parcel of land lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described as follows:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 37.02 feet to a point; thence, North 00°33'13" East, 10.00 feet to a point and the true POINT OF BEGINNING; Thence running, North 89°26'47" West, 17.00 feet to a point; Thence, North 00°33'13" East, 11.00 feet to a point; Thence, South 89°26'47" East, 17.00 feet to a point; Thence, South 00°33'13" West, 11.00 feet to a point and the POINT OF BEGINNING.

Said tract contains 0.004 acres (187 square feet), more or less, as shown in a survey prepared Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

PROPOSED LEASE AREA #2 VERIZON WIRELESS "COTTESFORD"

All that tract or parcel of land lying and being in Land Lot 634, 17th District, 2' Section, Cobb County, Georgia and being more particularly described as follows:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 37.02 feet to a point; thence, North 00°33'13" East, 10.00 feet to a point; thence, North 89°26'47 West, 17.00 feet to a point; thence, North 00°33'13" East, 11.00 feet to a point; thence, South 89°26'47" East, 2.00 feet to a point and the true POINT OF BEGINNING; Thence running, North 00°33'13" East, 18.00 feet to a point; Thence, South 89°26'47" East, 10.50 feet to a point; Thence, South 00°33'13" West, 18.00 feet to a point; Thence, North 89°26'47" West, 10.50 feet to a point and the POINT OF BEGINNING.

Said tract contains 0.004 acres (189 square feet), more or less, as shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC. dated December 7, 2015 and last revised January 30, 2017.

PROPOSED 20' INGRESS-EGRESS EASEMENT VERIZON WIRELESS "COTTESFORD"

Together with a proposed 20-foot ingress-egress easement lying and being in Land Lot 634, 17th District, 2nd Section, Cobb County, Georgia and being more particularly described by the following centerline data:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point and the true POINT OF BEGINNING; Thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; Thence, South 00°24'11" West, 233.60 feet to a point; Thence, South 89°26'47" East, 37.02 feet to the ENDING at a point.

As shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

PROPOSED 20' UTILITY/TEMPORARY CONSTRUCTION EASEMENT VERIZON WIRELESS "COTTESFORD"

Together with a proposed 20-foot utility/temporary construction easement lying and being in Land Lot 634, 17th District, 2" Section, Cobb County, Georgia and being more particularly described by the following centerline data:

To find the point of beginning, commence at a ½-inch rebar found on the southeasterly right-of-way line of Roswell Street (having an 70-foot right-of-way), said rebar marking the Northeast corner of the property owned by Cayce Properties, as recorded in Deed Book 14889 Page 3594; thence running along said right-of-way line, North 54°52'08" East, 64.40 feet to a point; thence leaving said right-of-way line and running, South 36°38'09" East, 91.78 feet to a point; thence, South 00°24'11" West, 233.60 feet to a point; thence, South 89°26'47" East, 27.02 feet to a point and the true POINT OF BEGINNING; Thence running, South 00°33'13" West, 11.42 feet to the ENDING at a point on Hawthorne Avenue (having a 40-foot right-of-way).

As shown in a survey prepared for Verizon Wireless by POINT TO POINT LAND SURVEYORS, INC dated December 7, 2015, and last revised January 30, 2017.

Exhibit E



June 12, 2017

Raven Madison **TOWERSOURCE, INC.**1875 Old Alabama Road, Suite 1008
Roswell, GA 30076

RE: Proposed 130 ft Sabre monopole and foundations for Cottesford, GA

Dear Raven Madison,

Upon receipt of order, we propose to design and supply a 130' monopole and foundations for the above referenced site. The monopole and foundations will be designed for 89 mph (115 mph Vult) without ice and 30 mph with 3/4" ice, Structure Class II, Exposure Category C and Topographic Category 1, in accordance with ANSI/TIA/EIA 222-G, to support the following:

- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 130', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 120', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 110', with twelve (12) 1-5/8" lines;
- Twelve (12) 8'x1'x3" panel antennas on a 12' LP Platform @ 100', with twelve (12) 1-5/8" lines;
- 10' Lightning Rod

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles*. The fall radius for the monopole design described above is less than 29.5 feet.

If you have any questions, please contact the undersigned.

Sincerely,

Amy R. Herbst, P.E. Senior Design Engineer



Exhibit F

June 7, 2017



Verizon Wireless 10300 Old Alabama Connector Road Alpharetta, GA 30022-1117

Mr. Ken Suddreth Community Development Director City of Smyrna 3180 Atlanta Road SE Smyrna, GA 30080

RE: Application for Special Land Use Permit and Variance Application to allow for a 140-foot Telecommunications Facility to be located at 1700 Roswell Street, City of Smyrna, Georgia.

Dear Mr. Suddreth,

The primary need for the proposed telecommunications facility site is to improve 4G coverage and data throughput for Verizon customers along Hawthorn Street, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road. The proposed site is also needed as a capacity site to provide relief to existing Verizon sites, particularly the Promenade site located at 2400 Cobb Parkway. The existing Promenade site requires more capacity than it is capable of delivering at present time. When an existing site requires more capacity a new point of service is required. The attached Propagation Maps demonstrate the capacity relief the proposed site will provide to the Promenade site. The proposed location of the new site is critical to the effectiveness of the capacity offload. As shown on the Propagation Maps, the high traffic areas of Hawthorne Street, Roswell Street and Matthews Street are positively impacted by the proposed site.

The search area for this project is centered near Roswell Street and Hawthorne Street with an approximate radius of .5 miles. Verizon Wireless has made every reasonable attempt to utilize existing structures to meet the network design goals. Upon thorough examination of the service area, Verizon Wireless did not identify any existing towers located within the search area suitable for collocation. The closest existing tower is located just outside the radius of the search area and is owned by American Tower Corporation (ATC). The ATC tower is too close to Verizon's existing Hickory Hill site and would simply overlap coverage already provided by that site. Moreover, collocation on the ATC tower would not provide optimal coverage along the residential areas between Windy Hill Road and Spring Road.

The proposed tower height of 140 feet - with an antenna centerline of 130 feet - is the minimum height required to properly provide the necessary capacity and coverage improvements set forth above. In addition, the proposed tower height will enhance customer experience near the Promenade site by providing improved coverage and data speeds to thoroughfares in the surrounding area. The tower height as proposed is imperative to allow adequate contiguous in-car and in-building coverage for residents, businesses and commuters along Hawthorn Street, Roswell Street, Matthews Street and all the residential areas between Windy Hill Road and Spring Road.

Based on the proposed height of the tower a 30-foot setback to Hawthorne Avenue is required. The proposed tower is located 29.5 feet from Hawthorne Avenue and thus a small variance of .5 feet is requested. The existing site is the only location on the property that allows enough room for the tower installation and still provides access for emergency vehicles to move around the compound.

For the above mentioned reasons the Verizon Wireless Network Team respectfully requests approval of the Special Land Use Permit and Variance Application to allow for the proposed 140-foot telecommunications facility, which will enable Verizon Wireless to continue to provide the most reliable wireless network to the citizens of the City of Smyrna.

Thank you for your thoughtful consideration of this request.

Sincerely,

Chan Su

RF Design Engineer

Verizon Wireless- GA/AL Region.

Exhibit G

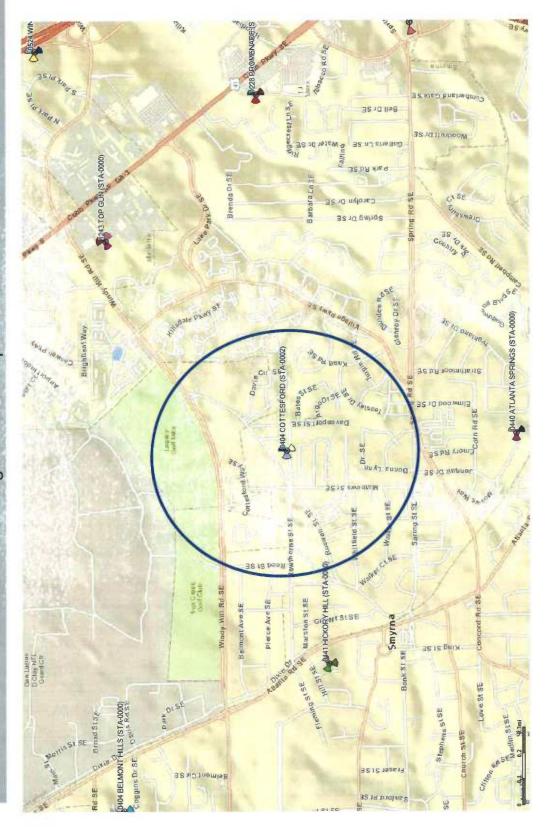
Cell Site Justification for Cottesford

by **Sri Hari Krishna Nimmagadda**Radio Frequency Engineer
Verizon Wireless
June 23rd, 2017

Design Objectives for Cottesford Site

- improve 4G coverage and data throughput for Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE. The proposed Cottesford site is designed as a coverage site to
- Cottesford site is also designed as a capacity site to provide capacity relief to gamma sector of existing Verizon site, Promenade(1.4 miles

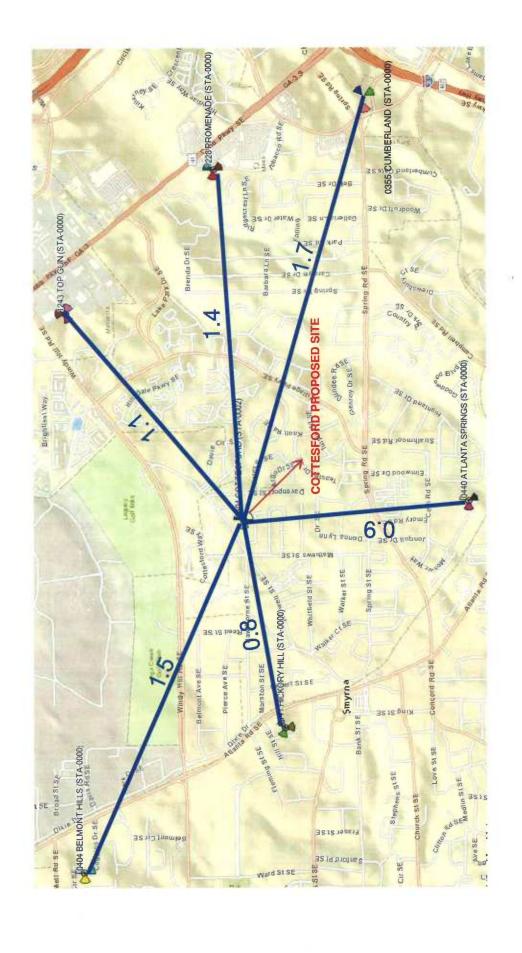
Intended Coverage area - Proposed Cottesford Site



As shown in the above blue circle, the proposed Cottesford site is designed as a coverage site to improve 4G coverage and data throughput for Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE.

Sites within the vicinity of proposed Cottesford site

Site Name Belmont Hills	Antenna Height(ft) 180	Structure Type Monopole	Latitude 33-54-0.74 N	Latitude Longitude 33-54-0.74 N 84-31-36.3 W	Address 2190 Atlanta Road, Smyrna, GA, 30080	Status Existing
Hickory Hill	130	Monopole	33-53-19 N	84-31-02 W	Southeast, Smyrna, GA, Existing 30080	Existing
Cottesford	130	Tower(proposed) 33-53-26.41 N84-30-10.22 W	33-53-26.41 N	184-30-10.22 W	1700 Roswell Street, Smyrna, GA, 30080	Proposed
Top Gun	75	Monopole	33-54-1.59 N	33-54-1.59 N 84-29-18.57 W	2080 Cobb Parkway S., Marietta, GA, 30080	Existing
Promenade	170	Guyed Tower	33-53-30.60 N	33-53-30.60 N 84-28-44.00 W	2400 Cobb Parkway, Smyrna, GA, 30080	Existing
Cumberland	70	Building with Tower/Antenna on top	33-52-59.45 N	33-52-59.45 N 84-28-27.58 W	2855 Springhill Pkwy, Atlanta, GA, 30339	Existing
Atlanta Springs 145	3 145	Monopole	33-52-40.23 N	33-52-40.23 N 84-30-7.33 W	3075 Jonquil Drive, Smyrna, GA, 30080	Existing



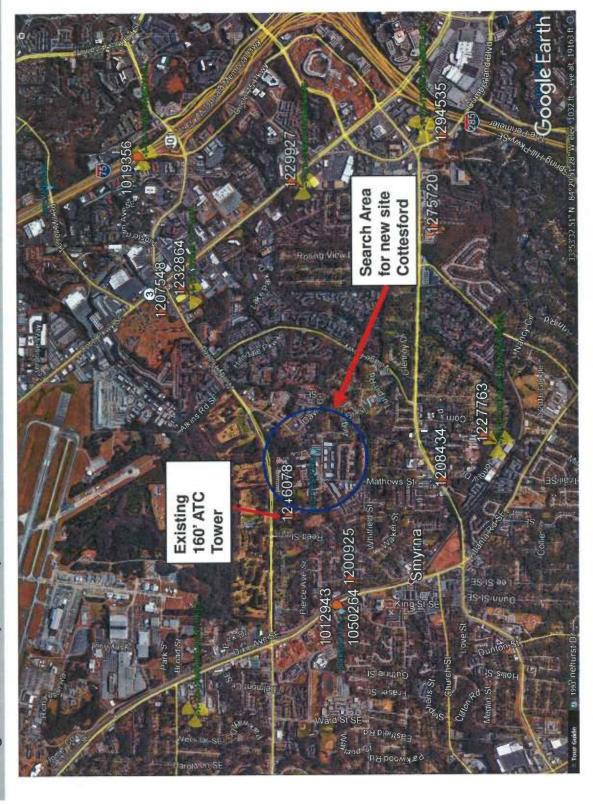
Existing Towers in the area

Structure Registration # Structure	Structure	Comments
1246078	ATC	approximately 0.5 miles from search area.
1207548	CCI	next to existing on air VZW site TOP GUN.
1232864	SBA	VZW on air site TOP GUN on it.
1012943	POWERTEL	VZW on air HICKORY HILL on it.
1208434	CCI	Too close to VZW on air site ATLANTA SPRINGS(approximately 0.28 miles)
1227763	ATC	VZW on air site ATLANTA SPRINGS on it.
1229927	SBA	VZW on air site PROMENADE on it.
1275720	TMOBILE	Too close to VZW on air site CUMBERLAND(approximately 0.5 miles) and too far from search ring center(1.23 miles)

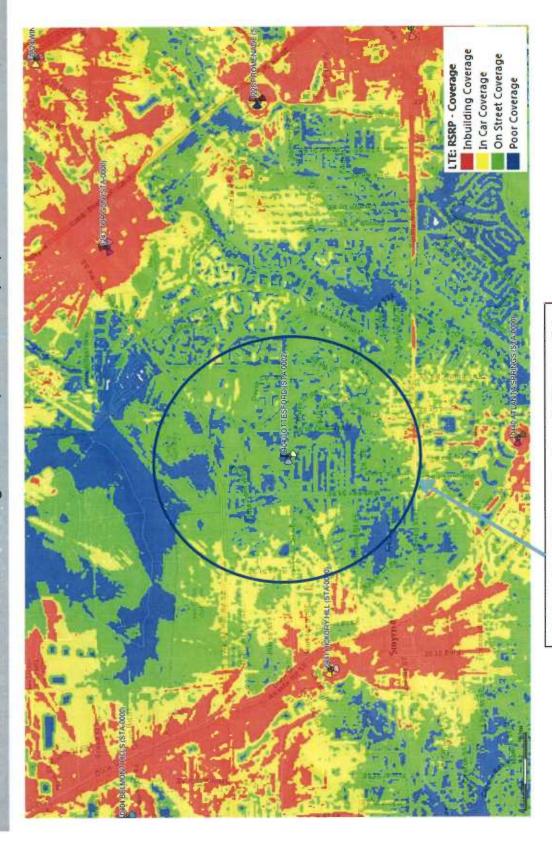
As shown in google earth snap shot in next slide(slide#8),1246078(ATC) is the only location closer to search area for which coverage analysis was shown in slides(13-16).

Coverage analysis is not necessary for all other locations as they are too far away from the search area, very close to existing Verizon sites or co-located with neighboring Verizon sites. As such coverage analysis is not necessary for other locations. Please check comments above for each individual location.

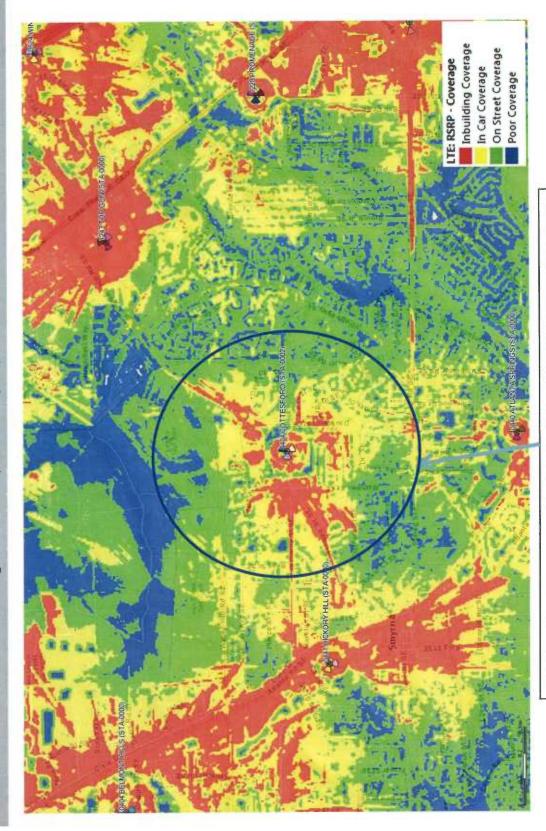
Google Earth Map - Proposed Cottesford Site Location and Existing Verizon Cell Sites



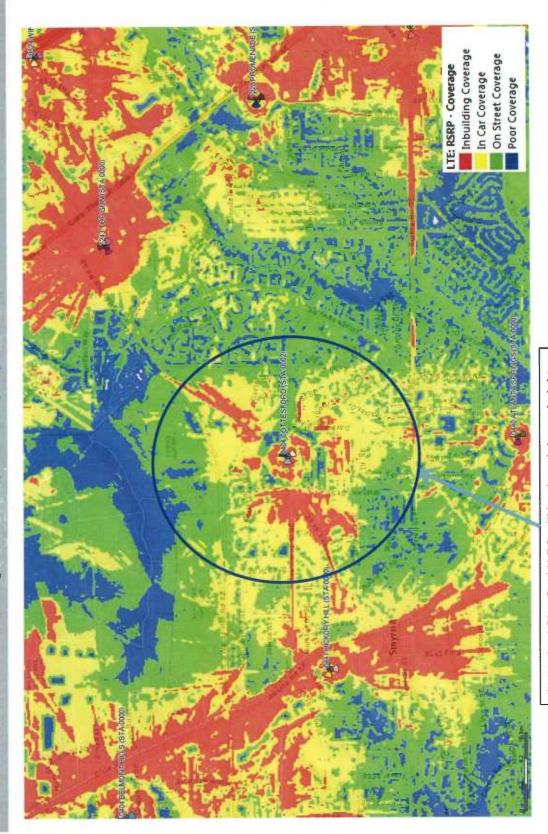
Current Verizon 4G LTE Signal Level (without the proposed Cottesford site)



Verizon customers along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE experience weak coverage and slow data speeds. Blue Circle represents intended coverage improvement area.

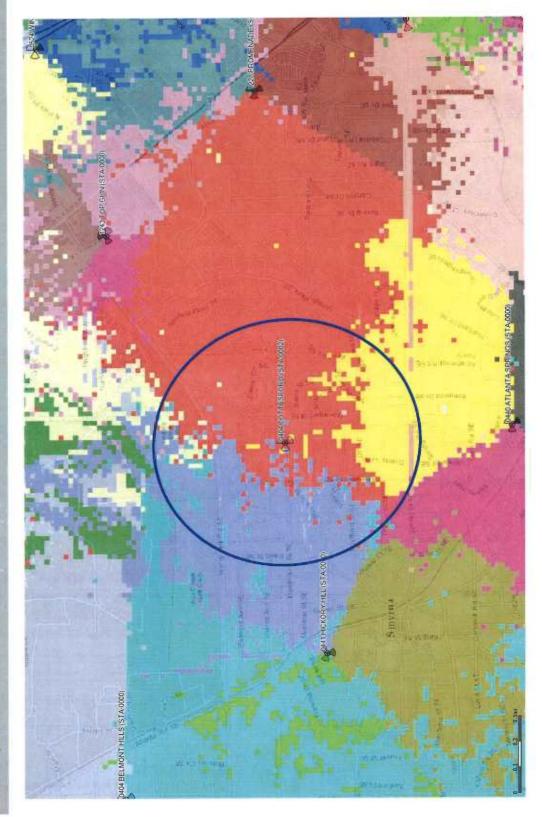


At 110' Rad Center, we can notice that the in Car and on Street coverages are not adequate with in the intended Coverage area(blue circle) in some areas and thus will result in weak coverage and slow data speeds for the residential areas and streets in these areas. Next slide at 130' shows improvement in car and on street coverages.



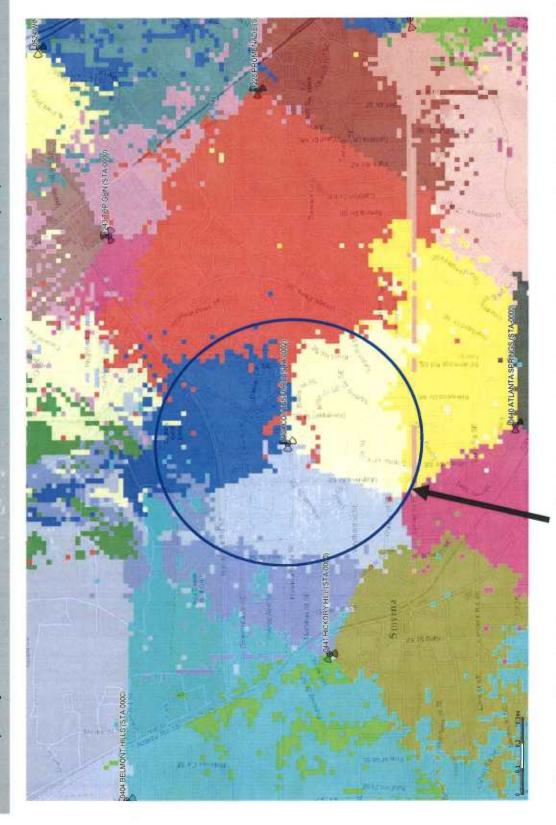
Cottesford Site @ 130' RC will be the minimum height to provide adequate in-car coverage and reasonable in building coverage and good street level coverage along Hawthorn St SE, Roswell St SE, Matthews St SE, and all the residential areas between Windy Hill Rd SE and Spring Rd SE.

Capacity off load to Promenade Gamma sector — Existing area covered in red(Cotttesford site off)



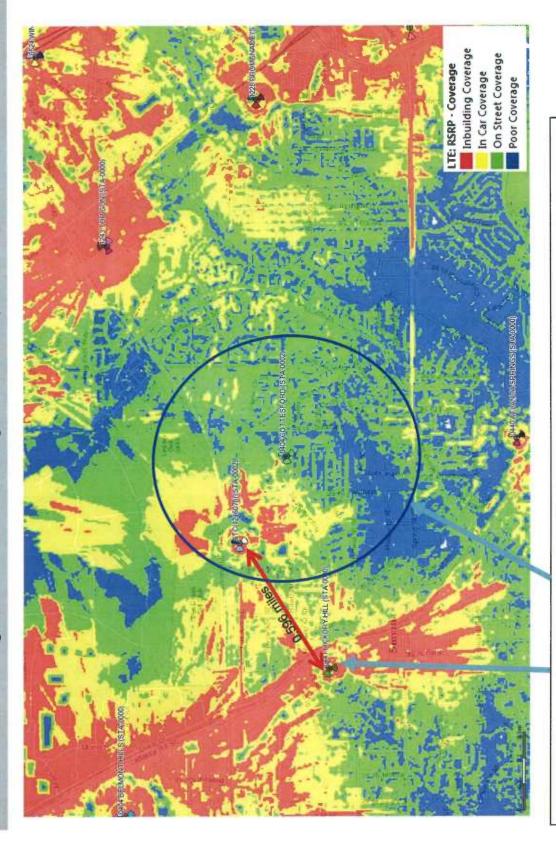
Currently, majority of the intended coverage area(blue circle) of proposed Cottesford site is covered by Gamma sector of Verizon site Promenade(Coverage in red).

Capacity off load to Promenade Gamma sector — Red pullback with proposed Cottesford site on

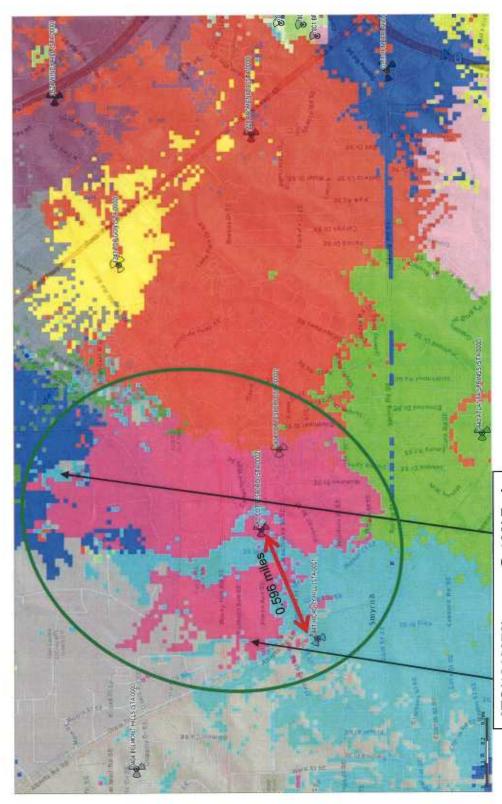


With the proposed Cottesford site on, we can see pull back in coverage(red) of promenade Gamma sector. Cottesford site will help in offloading decent amount of traffic from Gamma sector of Promenade(major capacity trigger) and other neighboring sites in the area.

Verizon 4G LTE Signal Level if Collocating on the ATC(1246078) tower @ 128' Rad Center



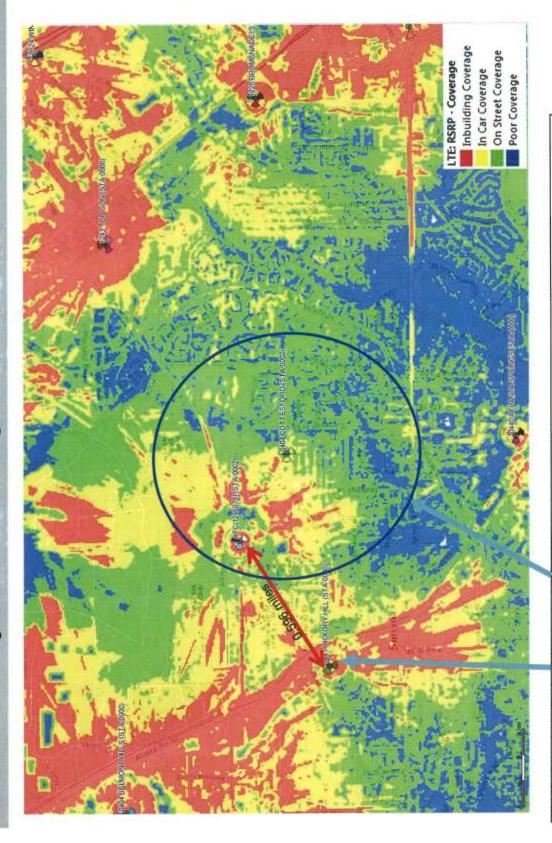
ATC(1246078) at 128' AGL is too close(0.596 miles) to Hickory Hill(existing Verizon site) and a significant portion of intended coverage area(blue circle) doesn't show improvement in coverage(in building, in car & street level).



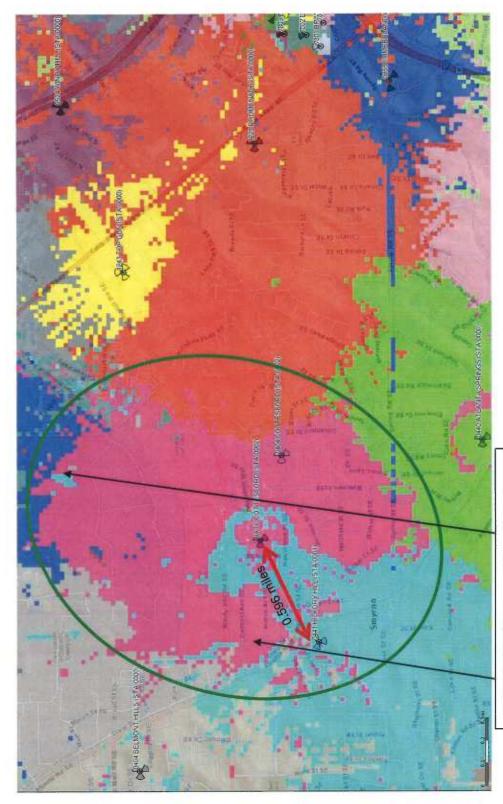
ATC(1246078) tower @ 128' Rad Center doesn't provide contained coverage and has too much overlap with neighboring site Hickory Hill which will result in high interference.

Note:- Hickory hill coverage in blue and ATC(1246078) coverage in pink

Verizon 4G LTE Signal Level if Collocating on the ATC(1246078) tower @ 170' Rad Center



ATC(1246078) at 170' AGL is too close(0.596 miles) to Hickory Hill(existing Verizon site) and a significant portion of intended coverage area(blue circle) doesn't show improvement in coverage(in building, in car & street level).



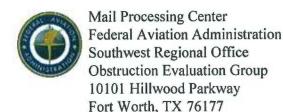
ATC(1246078) tower @ 170' Rad Center doesn't provide contained coverage and has too much overlap with neighboring site Hickory Hill which will result in high interference.

Note:- Hickory hill coverage in blue and ATC(1246078) coverage in pink

Cottesford Site Justification Summary

- Based in analysis shown in slides 9-17, we can infer the following.
- signal levels and with minimal interference to and from neighboring Verizon sites. This will also help in capacity offload from Gamma sector of neighboring Verizon site Promenade(1.4 miles Cottesford site at 130' AGL provides controlled coverage across the target areas at optimal
- streets between Windy Hill R SE and Spring Rd SE. Due to close proximity to Hickory Hill, it Verizon site, Hickory Hill and wouldn't provide optimal coverage along residential areas and doesn't provide contained coverage and thus, it negatively impacts neighboring sites and is ATC(Structure Registration # 1246078) at 128' AGL is too close(0.59 miles) to neighboring impacted negatively by neighbor sites.
- Verizon site, Hickory Hill and wouldn't provide optimal coverage along residential areas between contained coverage and thus, it negatively impacts neighboring sites and is impacted negatively Windy Hill R SE and Spring Rd SE. Due to close proximity to Hickory Hill, it doesn't provide ATC(Structure Registration # 1246078) at 170' AGL is too close(0.59 miles) to neighboring by neighbor sites.

Exhibit H



Coffestord (ATL)
Aeronautical Study No.
2017-ASO-3629-OE

Issued Date: 08/02/2017

Network Regulatory Verizon Wireless (VAW) LLC 5055 North Point Pkwy NP2NE Network Engineering Alpharetta, GA 30022

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Monopole Cottesford - A

Location:

Smyrna, GA

Latitude:

33-53-26.41N NAD 83

Longitude:

84-30-10.22W

Heights:

1071 feet site elevation (SE)

147 feet above ground level (AGL)
1218 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)
X	Within 5 days after the construction reaches its greatest height (7460-2, Part 2

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 02/02/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 222-5933, or andrew.hollie@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2017-ASO-3629-OE.

Signature Control No: 322174239-339708889

(DNE)

Andrew Hollie Specialist

Attachment(s)
Case Description
Frequency Data
Map(s)

cc: FCC

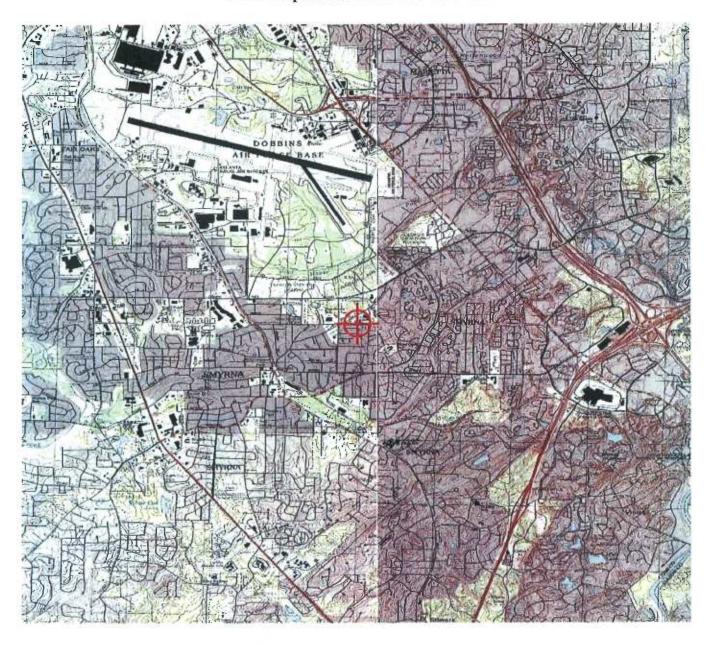
Case Description for ASN 2017-ASO-3629-OE

Proposed 150' monopole. If marking/lighting is required, dual/medium intensity is requested. For questions contact Vicki McCauley @ 908-306-7477.

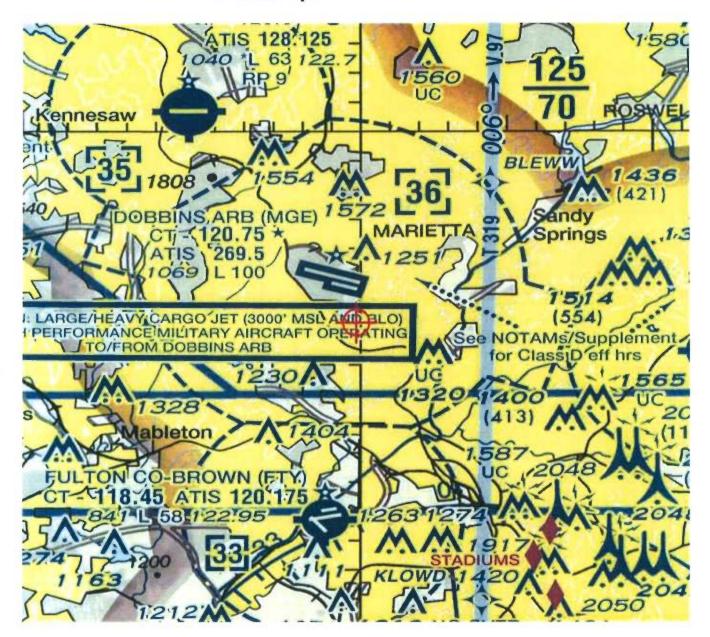
Frequency Data for ASN 2017-ASO-3629-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

TOPO Map for ASN 2017-ASO-3629-OE



Sectional Map for ASN 2017-ASO-3629-OE





Circle Search for Cases Results Form 7460-1 for ASN 2017-ASO-3629-OE

CoHesford (ATL)

Overvi	ew
--------	----

Study (ASN): Prior Study: 2017-ASO-3629-OE

Status: Letters: Determined

Determination 🔁

Supplemental Form 7460-2: Please login to add a Supplemental Form 7460-2.

Received Date: 02/14/2017 Entered Date: 02/14/2017 Completion Date: 08/02/2017

Expiration Date: 08/02/2019

Map: View Map

Sponsor Information

Sponsor: Verizon Wireless (VAW) LLC
Attention Of: Network Regulatory
Address: 5055 North Point Pkwy
Address2: NP2NE Network Engineering

City: Alpharetta
State: GA
Postal Code: 30022
Country: US

Phone: 770-797-1070

Fax:

Sponsor's Representative Information

Representative:

Attention Of: Network Regulatory
Address: 5055 North Point Pkwy
Address2: NP2NE Network Engineering

City: Alpharetta
State: GA
Postal Code: 30022
Country: US

Phone: 770-797-1070

Fax:

Construction Info

Notice Of: CONSTR

Duration: PERM (Months: 0 Days: 0)

Work Schedule: Date Built:

Structure Summary

Structure Type: Monopole Structure Name: Cottesford - A

FCC Number:

Structure Details

Latitude (NAD 83):	33° 53' 26.41" N
Longitude (NAD 83):	84° 30' 10.22" W
Horizontal Datum:	NAD 83
Survey Accuracy:	1A
Marking/Lighting:	None
Other Description:	
Contract to the second	

Other Description:	
Current Marking/Lighting:	N/A Proposed Structure
Current Marking/Lighting Other Description:	
Name:	
City:	Smyrna
State:	GA

Nearest County:	Cobb
Nearest Airport:	MGE
Distance to Structure:	9317.95 feet
On Airport:	No
Direction to Structure:	158.28°
Description of Location:	1700 Roswell Street SE
Description of Proposal:	Proposed 150' monopole. If marking/lighting is required dual/medium intensity is requested. For questions

Height and Elevation

	Proposed	DNE	DET
Site Elevation:	1071		
Structure Height:	150	147	147
Total Height (AMSL):	1221	1218	1218
Frequencies			

Frequenc	ies				
Low Freq	High Freq	Unit	ERP	Unit	
698	806	MHZ	1000	W	
806	824	MHz	500	W	
824	849	MHz	500	W	
851	866	MHz	500	W	
869	894	MHz	500	W	
896	901	MHz	500	W	
901	902	MHz	7	W	
930	931	MHz	3500	W	
931	932	MHz	3500	W	
932	932.5	MHz	17	d8W	
935	940	MHz	1000	W	
940	941	MHz	3500	W	
1850	1910	MHz	1640	W	
1930	1990	MHz	1640	w	
2305	2310	MHz	2000	W	
2345	2360	MHz	2000	w	

Back to Search Result

← Previous

306-7477.

Next

Exhibit I



CARLA JACKSON
CHELLY MCDUFFIE
Phone: 770-528-8600
Fax: 770-528-8679

Printed: 6/12/2017

Cobb County Online Tax Receipt

Thank you for your payment!

Payer. PSI INC

CONCEPT WAREHOUSE 1 LTD C/O PUBLIC STORAGE MANAGEMENT INC

Payment Date: 9/19/2016

Tax Year	Parcel ID	Due Date		Appeal Amount		Taxes Due
2016	17063400180	10/17/2016	Pay:	N/A	or	\$0.00
Interest	Penalty	Fees	Total Due	Amount Paid		Balance
\$0.00	\$0.00	\$0.00	\$0.00	\$16,844.95		\$0.00



Scan this code with your mobile phone to view this

Exhibit J

ULS License

Cellular License - KNKA315 - Verizon Wireless (VAW) LLC

Call Sign	KNKA315		Radio Serv	/ice	CL - Cellular
Status	Active		Auth Type		Regular
Market			The Park	SHAR	
Market	CMA017 - Atlanta, GA		Channel B	lock	A
Submarket	0		Phase		2
Dates					
Grant	10/25/2016		Expiration		11/29/2026
Effective	11/04/2016		Cancellatio	on 😘	to an analysis of the control of the
Five Year Buildo	ut Date	AL DIVERSITY			
01/30/1992	estationing distinct 1985, and the sa				
Control Points					
4	500 West Dove Road, T. P: (800)264-6620	ARRANT, Sout	thlake, TX		
Licensee					
FRN	0003800307		Туре		Limited Liability Company
Licensee					
Alpharetta, GA 30	Pkwy, NP2NE Network Eng	gineering	P:(770)79 F:(770)79 E:Licensin	7-1036	
ATTN Regulatory	Marchines and Vin		THE RESIDENCE OF		
Contact					
Contact Verizon Wireless Licensing Manage	Pkwy, NP2NE Network Eng	gineering	P:(770)79 F:(770)79 E:Licensin	7-1036	liance@VerizonWireless.com
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30	Pkwy, NP2NE Network Eng	gineering	F:(770)79	7-1036	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30	Pkwy, NP2NE Network Eng 1022	gineering	F:(770)79	7-1036	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory	Pkwy, NP2NE Network Eng 1022 Qualifications	gineering	F:(770)79	7-1036	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and	Pkwy, NP2NE Network Englo22 Qualifications Mobile	gineering	F:(770)79 E:Licensin	7-1036	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and Radio Service Typ	Pkwy, NP2NE Network Englo22 Qualifications e		F:(770)79 E:Licensin	7-1036 gComp	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and Radio Service Typ Regulatory Status Alien Ownership	Pkwy, NP2NE Network Englo22 Qualifications e	Interconn	F:(770)79 E:Licensin	7-1036 gComp	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and Radio Service Typ Regulatory Status Alien Ownership Is the applicant a fogovernment?	Pkwy, NP2NE Network Engage Qualifications e Mobile Common Carrier	Interconno presentative of	F:(770)79 E:Licensin	7-1036 gComp	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and Radio Service Typ Regulatory Status Alien Ownership Is the applicant a fogovernment? Is the applicant an	Pkwy, NP2NE Network Engage Qualifications De Mobile Common Carrier Dereign government or the reserved Common control of the	Interconnormal presentative of an alien?	F:(770)79 E:Licensin ected	7-1036 gComp	
Contact Verizon Wireless Licensing Manage 5055 North Point Alpharetta, GA 30 ATTN Regulatory Ownership and Radio Service Typ Regulatory Status Alien Ownership Is the applicant a fogovernment? Is the applicant an Is the applicant a cogovernment? Is the applicant a cogovernment? Is the applicant a cogovernment?	Pkwy, NP2NE Network Engage Qualifications Pee	Interconner presentative of of an alien? the laws of any an one-fifth of their representa	F:(770)79 E:Licensin ected any foreign foreign the capital atives or by a	7-1036 gComp Yes No	

	is 'Yes', has the applicant received a f the Communications Act with respect n this application?	Yes
Basic Qualifications	each of the Basic Qualification questi	ions.
	cach of the Basic Qualification questi	

Exhibit K







